



**NOTICE AND AGENDA
CITY COUNCIL
TUESDAY, JULY 15, 2025, 7:00 P.M.
REGULAR CITY COUNCIL MEETING**

Notice is hereby given that the City Council of the City of Glenn Heights, Texas, will hold a Regular City Council Meeting on Tuesday, July 15, 2025, beginning at 7:00 P.M., in the City Hall, City Council Chambers, located at 1938-C South Hampton Road, Glenn Heights, Texas, 75154, as prescribed by Vernon's Texas Civil Statutes, Government Code Section §551.041, to consider and possibly take action on the following agenda items. Items do not have to be taken in the same order as shown in this meeting Notice and Agenda.

Pursuant to Texas Government Code Sec. 551.127, on a regular, non-emergency basis, members may attend and participate in the meeting remotely by video conference. Should that occur, a quorum of the members, including the presiding officer, will be physically present at the location noted above on this Agenda.

This Notice and Meeting Agenda, and the Agenda Packet, are posted online at <https://www.glennheightstx.gov/129/Agendas-Minutes>.

This City Council Meeting will be live-streamed at <https://www.glennheightstx.gov/229/City-Council-Meeting-Videos>.

CALL TO ORDER

INVOCATION - Pastor Alex Blake, Freedom Church

PLEDGE OF ALLEGIANCE - Layla Cumby, Scholar

PUBLIC COMMENT

The public is invited to address City Council on any topic. Speakers should complete a Public Comment form and submit it to the City Secretary prior to the beginning of the meeting. The Texas Open Meetings Act prohibits City Council from discussing or taking action on issues not posted on the agenda; however, the Mayor, City Manager or designee may provide specific factual information, recite an existing policy, or schedule a discussion of the issue for possible placement on a future agenda. Speakers are limited to a maximum of three (3) minutes.

EVENTS

- Sunset Concert Series, Chelsay Nicole & Amber Bullock, July 20, 2025, 7:30 P.M., Glenn Heights City Center, 1938 South Hampton Road, Glenn Heights, Texas
- Movies with the Mayor, July 26, 2025, 1:00 P.M., Glenn Heights Community Center, 1938-D South Hampton Road, Glenn Heights, Texas

CONSENT AGENDA

Consent Agenda items are considered to be routine in nature and may be acted upon in one motion. Any Item requiring additional discussion may be withdrawn from the Consent Agenda by the Mayor, a Council Member, or the City Manager, and acted upon separately.

1. Discussion and take action to approve the Meeting Minutes of the May 6, 2025,

City Council Meeting. (Brandi Brown, City Secretary)

2. Acknowledge receipt of the June 2025 Financial Reports. (Sherry Roberts, Finance Director)
3. Discussion and take action to approve Resolution R-21-25, a Resolution suspending the July 31, 2025, effective date of Oncor Electric Delivery Company's requested rate change to permit the City time to study the request and to establish reasonable rates; approving cooperation with the Steering Committee of cities served by Oncor to hire legal and consulting services and to negotiate with the company and direct any necessary litigation and appeals; finding that the meeting at which this Resolution is passed is open to the public as required by law; requiring notice of this Resolution to the company and legal counsel for the Steering Committee. (Clifford Blackwell, City Manager)

AGENDA

1. Discussion and take action to approve Ordinance O-10-25, related to granting a change in zoning from Retail (R) District to a Planned Development District-32 (PD-32) for approximately 33.359 acres of land located at 605 Ovilla Road, by changing the zoning classification from Retail (R) to Planned Development-32 (PD-32) for a mixed-use development site consisting of Multi-Family and Commercial. (Second Reading) (Parviz Pourazizian, Director of Planning and Development Services)
2. Discuss and take action to approve a Preliminary Plat request by Michael Neary, on behalf of Mark Buster, for Uhl Crossing, for a 33.359-acre tract of land being generally located at the Northwest corner of the intersection of Ovilla Road and South Uhl Road. (Parviz Pourazizian, Director of Planning and Development Services)
3. Discuss and take action to approve a Final Plat request by Michael Neary, on behalf of Mark Buster, for Uhl Crossing, for a 33.359-acre tract of land being generally located at the Northwest corner of the intersection of Ovilla Road and South Uhl Road. (Parviz Pourazizian, Director of Planning and Development Services)
4. Discussion and take action to approve Ordinance O-11-25, amending the zoning of a 111.606 +/- acre tract of land generally located at the southeastern corner of the intersection of West Bear Creek Road and South Westmoreland Road by changing the zoning classification from Planned Development-27 (PD-27) from mixed use single-family residential to Planned Development-27A (PD-27A) for Single-Family Residential (base Single-Family Residential-3) and Multi-Family Residential uses. (Second Reading) (Parviz Pourazizian, Director of Planning and Development Services)
5. Discussion and take action to approve Ordinance O-12-25, related to granting a change in Zoning from Single-Family Residential-1 (SF-1) to Single-Family Residential-3 (SF-3) for approximately 15.52+/- acres of land situated in Phase One of the Meadows on Bear Creek Addition located at 928 East Bear Creek Road. (Second Reading) (Parviz Pourazizian, Director of Planning and Development Services)

6. Discussion and first reading of Ordinance O-13-25, related to amending Section 13.12.002 of Article 13.12 (“Drainage Utility System”) of Chapter 13 (“Utilities”) to adopt Subsection (d) to Section 13.12.002, providing for the adoption of future amendments to the Drainage Design Manual, as previously adopted, and to adopt amendments to the Drainage Design Manual, providing principles and practices for the design, construction and implementation of drainage facilities in the City of Glenn Heights. (Parviz Pourazizian, Director of Planning and Development Services)
7. Discussion and first reading of Ordinance O-14-25, related to amending Chapter 2 (“Animal Control”) to amend Section 2.01.001 of Article 2.01 (“General Provisions”), Section 2.02.003 of Article 2.02 (“Animal Care Generally”), Section 2.04.001 of Article 2.04 (“Impoundment, Redemption and Disposition of Animals”), and Sections 2.16.006 and 2.16.007 of Article 2.16 (“Public Nuisances”), to amend provisions defining and prohibiting animals at large, requiring all dogs to be microchipped, revising impoundment regulations, and establishing new penalties. (Dr. Glynell Horn Jr., Chief of Police)
8. Discussion and take action to appoint/ reappoint three Commissioners to serve on the Planning and Zoning Commission. (Parviz Pourazizian, Director of Planning and Development Services)
9. Discussion and presentation regarding proposed November 2025 General Election Charter Review Amendments. (Brandi Brown, City Secretary)
10. Discussion regarding a proposed November 2025 Bond Election. (Clifford Blackwell, City Manager)
11. Discussion and take action to approve Resolution R-20-25, approving and authorizing the City Manager to execute a Professional Services Agreement between the City of Glenn Heights and Birkhoff, Hendricks & Carter, L.L.P. for the provision of professional engineering services for the Cinnamon Spring Waterline Replacement Project. (Parviz Pourazizian, Director of Planning and Development Services)
12. Discussion and take action to approve a sponsorship for a Best Southwest Partnership TGIF Series Breakfast. (Mayor Sonja A. Brown)
13. Discussion and take action to approve a Site Plan for Holy House of Prayer Church by Oscar Galan with Classic Design Group for a 1.1636 +/- acre tract of land located at the northwest corner of West Bear Creek and Heritage Boulevard. (Parviz Pourazizian, Director of Planning and Development Services)
14. Discussion and take action to approve a variance request by Michael D. Polk for the property located at 1100 Yorkshire Drive, Glenn Heights, Dallas County, Texas, to build an 8-foot-tall residential wood fence. (Parviz Pourazizian, Director of Planning and Development Services)

EXECUTIVE SESSION

1. The City Council shall convene into Executive Session:
 - A. pursuant to the Texas Government Code, Section 551.072, Real Property; to

deliberate the purchase, exchange, lease or value of real property located at S Uhl Road, Glenn Heights, Texas.

B. pursuant to the Texas Government Code, Section 551.072, Real Property; to deliberate the purchase, exchange, lease or value of real property located at S Hampton, Glenn Heights, Texas.

C. pursuant to the Texas Government Code, Section 551.072, Real Property, and Section 551.071, Consultation with City Attorney; to deliberate land acquisitions for the E Bear Creek Road Right-of-Way Expansion Project.

2. The City Council shall reconvene into Open Session and take any action arising from Executive Session.

ADJOURNMENT

In accordance with the Americans with Disabilities Act, if you are a person with a disability and require information or materials in an appropriate alternative format; or if you require any other accommodations, please contact the City Secretary at least 48 hours in advance of the event at 972-223-1690 ext. 125 or email brandi.brown@glennheightstx.gov. Advance notification within this guideline will enable the City to make reasonable arrangements to ensure accessibility.

I, Brandi Brown, City Secretary, do hereby certify that the above Meeting Notice and Agenda was posted in a place convenient to the Public at Glenn Heights City Hall, 1938-C South Hampton Road, Glenn Heights, Texas by 5:00 P.M. on Friday, July 11, 2025.

Pursuant to Section 551.071 of the Texas Government Code, the City Council reserves the right to consult in closed session with its attorney at any time during the course of this meeting and to receive legal advice regarding any item listed on this agenda.

Brandi Brown, City Secretary

**MINUTES OF THE CITY COUNCIL OF
THE CITY OF GLENN HEIGHTS, TEXAS**

MAY 6, 2025

STATE OF TEXAS *
COUNTIES OF DALLAS AND ELLIS *
CITY OF GLENN HEIGHTS *

On the 6th day of May 2025, the City Council of the City of Glenn Heights, Texas, met in the City Hall, City Council Chambers, located at 1938-C South Hampton Road, Glenn Heights, Texas, 75154, with the following members present:

CITY COUNCIL:

Sonja A. Brown	*	Mayor
Cornel Benford II	*	Mayor Pro Tem
Harry A. Garrett*	*	Council Member, Place 2
Travis Bruton	*	Council Member, Place 3
Stephanne Hale	*	Council Member, Place 4
Laymon Lightfoot	*	Council Member, Place 5

*Harry A. Garrett, Council Member, Place 2, arrived at 7:11 P.M.

STAFF:

Clifford Blackwell	*	City Manager
Keith Moore	*	Deputy City Manager
Brandi Brown	*	City Secretary
Dr. Glynell Horn	*	Chief of Police
Kathi Morgan	*	IT Administrator
Parviz Pourazizian	*	Director of Planning and Development Services
Sherry Roberts	*	Finance Director
Andrew Waits	*	Public Works Superintendent

CONSULTANT:

David Berman	*	City Attorney's Office
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CALL TO ORDER

Mayor Sonja A. Brown called the City Council Meeting to order at 7:04 P.M., with a quorum of the City Council present.

INVOCATION

Mayor Sonja A. Brown delivered the Invocation.

PLEDGE OF ALLEGIANCE

Mayor Sonja A. Brown led the assembly in the Pledge of Allegiance.

PUBLIC COMMENT

There were no Public Comments.

PROCLAMATIONS

Mayor Sonja A. Brown read the following Proclamations:

- Recognition of Rakiyah Wilson, recipient of the Best Southwest Partnership Scholarship and the Mayoral Initiative Scholarship
- International Firefighters' Day, May 4, 2025
- National Teacher Appreciation Week, May 5 - 9, 2025
- National Police Week, May 11 - 17, 2025
- National EMS Week, May 18 - 24, 2025
- National Public Works Week, May 18-24, 2025

Council Member Stephanie Hale read the following Proclamation:

- National Nurses Week, May 6 - 12, 2025

Council Member Travis Bruton read the following Proclamation:

- World IBD Day, May 19, 2025

EVENTS

Mayor Sonja A. Brown made the following event announcements:

- Sunset Concert Series featuring the DeSoto and Red Oak Independent School District Jazz Ensembles, May 9, 2025, 7:00 P.M., Glenn Heights City Center, 1938 South Hampton Road, Glenn Heights, Texas
- Mayor's Town Hall Meeting, "Let's Taco Bout It", May 13, 2025, 6:30 P.M., Glenn Heights Community Center, 1938-D South Hampton Road, Glenn Heights, Texas
- Teddy Bear Hospital, May 21, 2025, 5:30 P.M., Glenn Heights Fire Station, 1938-B South Hampton Road, Glenn Heights, Texas
- Glenn Heights Connect, May 23, 2025, 5:30 P.M., Hampton Park Neighborhood, Glenn Heights, Texas

CONSENT AGENDA

1. Discussion and take action to approve rescheduling the May 20, 2025, Regular City Council Meeting to May 27, 2025, due to the availability constraints of Council Members and City Staff. (Brandi Brown, City Secretary)
2. Replat Case RP-003-25: Discussion and take action to approve a replat request for an 4.26+/- acre tract of land situated at 300 Ovilla Road, Glenn Heights, Texas to create three lots, Lots 7A-7C Block K from the existing tracts. (Parviz Pourazizian, Director of Planning & Development Services)

3. Replat Case RP-002-25: Discussion and take action to approve a replat request for an 15.599+/- acre tract of land being all of Lot 2A-1, Block B and Lot 1A Block B of Bear Creek Plaza Addition, an addition to the City of Glenn Heights, Dallas County, Texas to create four lots 2A-1R, 1A-1R, 2B-1 and 2B-2 Block B from the existing tracts. (Parviz Pourazizian, Director of Planning & Development Services)

Council Member Laymon Lightfoot made a motion to approve Consent Agenda Items 1-3. Mayor Pro Tem Cornel Benford II made the second. The motion carried with the following record vote:

VOTE 6 Ayes – Brown, Benford, Garrett, Bruton, Hale, and Lightfoot

AGENDA

1. Discussion and take action to appoint five (5) Zoning Board of Adjustment (ZBA) members and two (2) alternate Zoning Board of Adjustment members.

Parviz Pourazizian, Director of Planning & Development Services, introduced this item and completed a presentation.

Council Member Travis Bruton made a motion to appoint the following Candidates to each specified place, with the following term dates:

Members

Place	Name	Term Start	Term Expiration
Place 1	Donna Myles	May 7, 2025	April 30, 2027
Place 2	Ira Tate	May 7, 2025	April 30, 2026
Place 3	Jacqueline Bullock	May 7, 2025	April 30, 2027
Place 4	BranDee Hopgood	May 7, 2025	April 30, 2026
Place 5	Chasiti McKissic	May 7, 2025	April 30, 2027
First Alternate	Enrique Salazar	May 7, 2025	April 30, 2026
Second Alternate	Thomas Spigener	May 7, 2025	April 30, 2026

Mayor Pro Tem Cornel Benford II made the second. The motion carried with the following record vote:

VOTE 6 Ayes – Brown, Benford, Garrett, Bruton, Hale, and Lightfoot

2. Site Plan SP-03-25: Discussion and take action to approve a Site Plan for Al-Nejmah Neighborhood Market/Grocery Store at 1714 S. Hampton Road, Glenn Heights, Dallas County, Texas.

Parviz Pourazizian, Director of Planning & Development Services, introduced this item, completed a presentation, and answered Council's questions related to landscaping.

Council Member Stephanie Hale made a motion to approve Agenda Item 2 as written. Council Member Laymon Lightfoot made the second. The motion carried with the following record vote:

VOTE 6 Ayes – Brown, Benford, Garrett, Bruton, Hale, and Lightfoot

3. Discussion and take action to approve Ordinance O-07-25, adopting Standards of Care for Youth Programs offered by the Glenn Heights Parks and Recreation Department. (Second Reading)

Barrett Albright, Parks & Recreation Superintendent, introduced this item, completed a presentation, and answered Council's questions related to field trip locations and guidelines for attending the camp.

Mayor Pro Tem Cornel Benford II made a motion to approve Agenda Item 3 as written. Council Member Laymon Lightfoot made the second. The motion carried with the following record vote:

VOTE 6 Ayes – Brown, Benford, Garrett, Bruton, Hale, and Lightfoot

4. Discussion and take action to appoint/reappoint three (3) members to serve on the Citizens Police Advisory Committee to fill the forthcoming vacancies in Place 1, Place 3, and Place 5.

Dr. Glyn Horn Jr., Chief of Police, introduced this item and completed a presentation.

Council Member Laymon Lightfoot made a motion to reappoint Cartney Slaughter to Place 1, Shaleese Neugent to Place 3, and Dana Williamson to Place 5. Council Member Laymon Lightfoot made the second. The motion carried with the following record vote:

VOTE 6 Ayes – Brown, Benford, Garrett, Bruton, Hale, and Lightfoot

5. Discussion and take action to approve Resolution R-13-25, a Resolution of the City Council of the City of Glenn Heights, Texas, approving an Agreement with Infosend, Inc., for data processing, printing and mailing, electronic billing, presentment and payment, and interactive voice response services.

Keith Moore, Deputy City Manager, introduced this item, completed a presentation, and answered Council's questions related to bilingual services and costs, implementation timelines, a media launch campaign, City Newsletter inclusion, and the DataPro contract.

Council Member Stephanie Hale made a motion to approve Agenda Item 5 as written. Council Member Laymon Lightfoot made the second. The motion carried with the following record vote:

VOTE 6 Ayes – Brown, Benford, Garrett, Bruton, Hale, and Lightfoot

EXECUTIVE SESSION

1. The City Council shall convene into Executive Session:
 - A. pursuant to the Government Code, Section 551.072, Real Property; to deliberate the purchase, exchange, lease or value of real property located at S Uhl Road, Glenn Heights, Texas.
2. The City Council shall reconvene into Open Session and take any action arising from Executive Session.

Mayor Sonja A. Brown announced that the Executive Session had been removed from the Agenda as no discussion was needed.

ADJOURNMENT

Council Member Laymon Lightfoot made a motion to adjourn. Mayor Pro Tem Cornel Benford II made the second. The motion carried with the following record vote:

VOTE 6 Ayes – Brown, Benford, Garrett, Bruton, Hale, and Lightfoot

Mayor Sonja A. Brown adjourned the meeting at 8:13 P.M.

Sonja A. Brown, Mayor

Attest:

Brandi Brown, City Secretary
Passed and approved on the 15th day of July 2025

CITY OF GLENN HEIGHTS JUNE 2025 FINANCIAL SUMMARY



SHERRY ROBERTS
FINANCE DIRECTOR

JULY 15, 2025

Property Tax Comparison



Total Property Tax Budget: \$8,779,380

YTD Actual: \$8,946,026

YTD Budget Percentage: 101.9%

Sales Tax Comparison



Month of June 2025

Budget: \$88,380 Actual: **\$97,020**

MTD Difference v. Budget 9.8%

(Based on a rolling 3-year average collection)

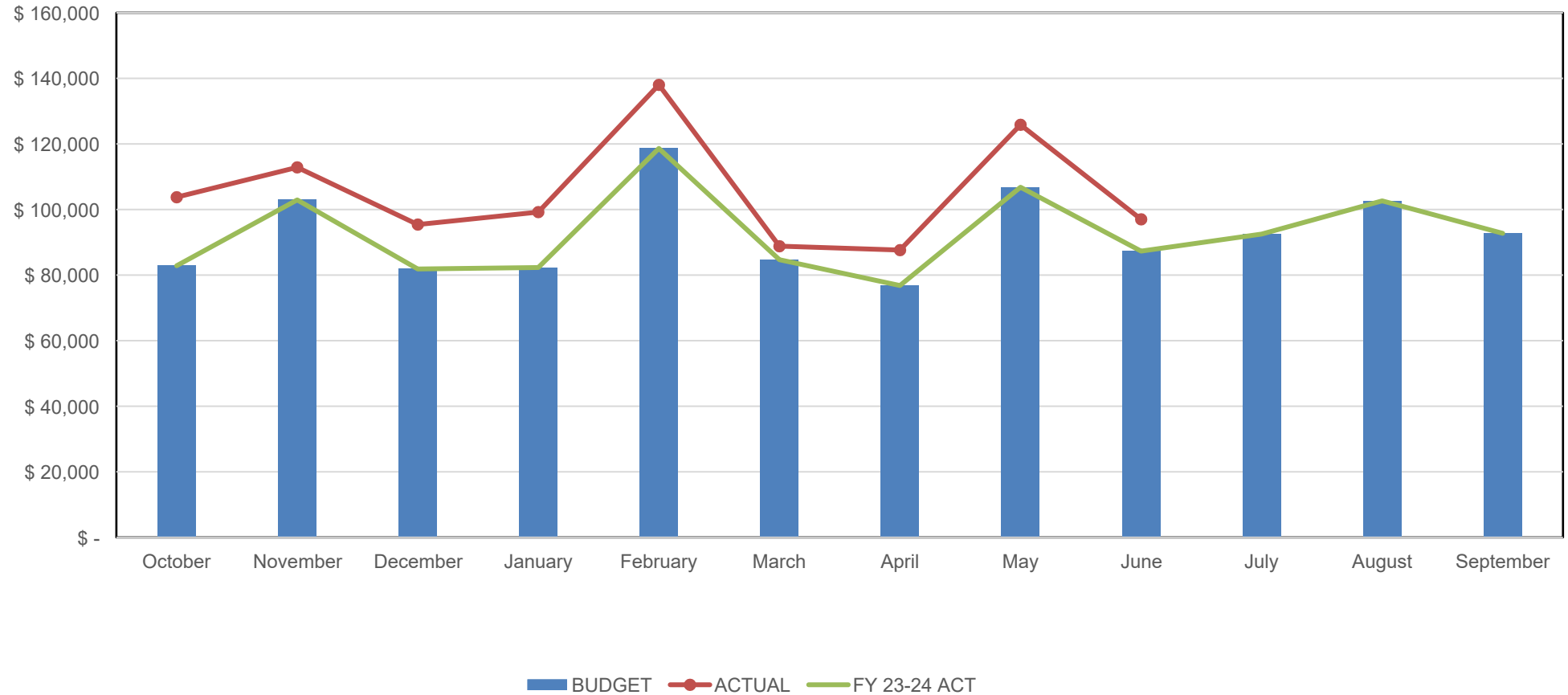
YTD

Budget: \$1,300,000

Actual: **\$948,775**

Budget Actual: **73.0%**

Comparison of Budgeted Sales Tax to Actual



General Fund Revenues



DEPARTMENT	BUDGET	YTD
PROPERTY TAXES	\$ 8,779,380	\$ 8,946,026
FRANCHISE FEES	630,000	550,511
SALES TAXES	1,300,000	948,775
CHARGE FOR SERVICES (TOWER RENTAL, SANITATION, ETC.)	1,560,430	1,350,192
PERMITS AND FEES	598,250	663,538
RECREATION	170,700	149,733
GRANTS AND CONTRIBUTIONS	-	-
COURT FINES	247,000	156,176
INTEREST	300,000	612,127
MISCELLANEOUS	90,000	140,152
DONATION FROM GHHFC CO. DEV.	150,000	218,618
TOTAL REVENUES	\$ 13,825,760	\$ 13,735,849

General Fund Expenditures



DEPARTMENT	BUDGET	YTD
CITY COUNCIL	\$ 307,600	\$ 177,828
CITY MANAGER	611,463	412,469
ADMINISTRATION	92,800	29,589
CITY SECRETARY	200,372	198,391
HUMAN RESOURCES	430,350	405,473
INFORMATION TECHNOLOGY	663,766	509,914
COMMUNITY ENGAGEMENT	326,807	170,454
FINANCE	467,050	411,770
MUNICIPAL COURT	224,755	146,249
FIRE	2,930,695	2,131,973
POLICE	4,008,068	2,616,404
STREETS	2,513,951	1,822,062
ECONOMIC DEVELOPMENT	54,650	8,995
PLANNING	486,202	332,895
PARKS & RECREATION	742,147	327,681
GROUNDS MAINTENANCE	141,398	65,257
TOTAL EXPENDITURES	\$ 14,202,074	\$ 9,767,405

General Fund Revenues/Expenditures



Budget YTD: 75.00%

Total *Revenues* Budgeted: \$13,825,760

YTD Actual: \$13,735,848

Budget Actual: 99.3%

Total *Expenditures* Budgeted: \$14,202,074

YTD Actual: \$9,767,404

Budget Actual: 68.8%

General Fund-Fund Balance Summary



General Fund	Budget	Actual/YTD	Budget	Actual/YTD
Beginning Fund Balance	\$12,163,394	\$12,163,394	\$8,541,761	\$8,541,761
Total Revenues	\$13,825,760	\$13,735,848	\$12,829,907	\$11,942,111
Total Expenditures	(14,202,074)	(9,767,404)	(12,691,556)	(8,269,624)
Total Revenues Over (Under) Exp.	(\$376,315)	\$3,968,444	\$138,350	\$3,672,487
Other Financing Sources (Use)	-	-	-	-
Transfer to Vehicle Replacement Fund	-	-	(303,000)	-
Transfer to Fund 410 Capital	-	-	(679,180)	-
Transfer from 911 Wireless Fund	69,000	51,750	69,000	51,750
Transfer from Utility Fund	15,000	11,250	15,000	11,250
Charge for city-wide service	6,000	4,500	6,000	4,500
Transfer from Court Security	20,000	15,000	20,000	-
Transfers from Drainage Fund	15,775	11,831	15,775	11,831
Transfer to Disaster Recovery Fund	-	-	-	(130,184)
Transfer to State Seizure Fund	-	(2,678)	-	-
Net Change	(250,540)	4,060,097	(718,055)	3,621,634
Ending Unassigned Fund Balance	\$11,912,854	\$16,223,491	\$7,823,706	\$12,163,395
Days in Reserve	306	452	225	400

Water & Sewer Fund Revenues/Expenditures



Budget YTD: 75.00%

Total *Revenues* Budgeted: \$10,282,200

YTD Actual: \$7,434,389

Budget Actual: 72.3%

Total *Expenditures* Budgeted: \$9,779,861

YTD Actual: \$6,307,153

Budget Actual: 64.5%

Water & Sewer Fund-Statement of Net Position Summary



Water Sewer Fund	Budget	Actual/YTD
Beginning Net Position	<u>\$3,089,427</u>	<u>\$3,089,427</u>
Total Revenues	\$10,282,200	\$7,434,389
Total Expenditures	<u>(9,779,861)</u>	<u>(6,307,153)</u>
Total Revenues Over (Under) Exp.	<u>\$502,339</u>	<u>\$1,127,236</u>
Other Funding Sources (Use)	-	(304,503)
Debt Service Bond Payments	<u>(225,170)</u>	<u>(225,161)</u>
Net Change	277,169	597,572
Ending Unassigned Net Position	<u><u>\$3,366,596</u></u>	<u><u>\$3,686,999</u></u>
Days in Reserve	83	154

Drainage Fund Revenues/Expenditures



Budget YTD: 75.00%

Total *Revenues* Budgeted: \$471,420

YTD Actual: \$314,803

Budget Actual: 66.8%

Total *Expenditures* Budgeted: \$679,414

YTD Actual: \$359,936

Budget Actual: 53.0%

Drainage Fund - Statement of Net Position Summary



Drainage Fund	Budget	Actual/YTD
Beginning Net Position	<u>\$1,167,314</u>	<u>\$1,167,314</u>
Total Revenues	\$471,420	\$314,803
Total Expenditures	<u>(679,414)</u>	<u>(359,936)</u>
Total Revenues Over (Under) Exp.	<u>(\$207,994)</u>	<u>(\$45,133)</u>
Other Funding Sources (Uses)		
Operating Transfers (Out)	<u>(15,775)</u>	<u>(11,831)</u>
Net Change	<u>(223,769)</u>	<u>(56,964)</u>
Ending Unassigned Net Position	<u>\$943,545</u>	<u>\$1,110,350</u>
Days in Reserve	507	839

Other Funds Summary



<u>FUND</u>	<u>BUDGET EXPEND</u>	<u>ACTUAL EXPEND</u>	<u>EST. FUND BALANCE</u>
200-COURT TECHNOLOGY	\$ 4,000	\$ 3,635	\$ 18,962
201-COURT SECURITY	\$ 6,750	\$ 15,000	\$ 39,792
205-E911 FUND	\$ 79,000	\$ 51,750	\$ 317,140
215-STREET IMPACT FEES	\$ 900,000	\$ 115,762	\$ 1,618,962
230-PARK FEES	\$ 550,000	\$ -	\$ 1,623,526
250-OPERATING GRANTS FUND	\$ 3,140,836	\$ 1,599,258	\$ (925,197)
251-ARPA FUND	\$ 2,000,000	\$ 142,341	\$ 1,576,789
403-2016 GO BOND	\$ 4,348,000	\$ 225,263	\$ 3,640,902
406-VEHICLE REPLACEMENT FUND	\$ 164,500	\$ 83,456	\$ 94,099
410-RESERVED FOR CAPITAL PROJECTS	\$ 830,690	\$ 843,493	\$ 1,399,976
515-WATER SEWER IMPACT FUND	\$ 876,450	\$ 462,026	\$ 900,298

June 2025 Financial Summary



**GENERAL FUND
FOR THE MONTH ENDED JUNE 30, 2025**

**Summary
Revenues & Expenditures - Budget & Actual**

General Fund - Fund
Balance as of June 30,
2025 is \approx \$16,223,492

452 days of reserves
as of June 30, 2025

PROPERTY TAX REVENUE

Property Tax received for June was \$19,183 or .22% of the budget. The majority of property taxes is received in December of every year.

SALES TAX REVENUE

Sales Tax received for June was \$97,065 or 7.5% of the budget. This is a decrease of \$497 (\approx .51%) from June 2024.

INTEREST REVENUE

Interest received for June was \$73,319 or 24.44% of the budget. This is an increase of \$41,698 (\approx 131.9%) from June 2024.

SUMMARY OF GENERAL FUND REVENUES (75.00% of FY)

	<u>Original Budget</u>	<u>MTD Actual</u>	<u>YTD Actual</u>	<u>Budget %</u>
<u>TOTAL REVENUES:</u>	\$ 13,825,760	\$ 823,664	\$ 13,825,848	100.0%

	<u>Original Budget</u>	<u>MTD Actual</u>	<u>YTD Actual</u>	<u>Budget %</u>
<u>Property Tax :</u>	\$ 8,779,380	\$ 19,183	\$ 8,946,026	101.9%

Property taxes are due in January and become delinquent after January 31st.

	<u>Original Budget</u>	<u>MTD Actual</u>	<u>YTD Actual</u>	<u>Budget %</u>
<u>Sales Tax:</u>	\$ 1,300,000	\$ 97,065	\$ 948,775	73.0%

	<u>Original Budget</u>	<u>MTD Actual</u>	<u>YTD Actual</u>	<u>Budget %</u>
<u>Grant Revenue</u>	\$ -	\$ -	\$ -	-

	<u>Original Budget</u>	<u>MTD Actual</u>	<u>YTD Actual</u>	<u>Budget %</u>
<u>Franchise Fees:</u>	\$ 630,000	\$ 66,242	\$ 640,511	101.7%

Franchise fees are paid to the City annually, quarterly, and monthly depending on the type of franchise. Individual sources are listed below

<u>Type</u>	<u>Pay Cycle</u>	<u>Original Budget</u>	<u>MTD Actual</u>	<u>YTD Actual</u>	<u>Budget %</u>
Electric	Oncor pays annually; Hilco pays quarterly	275,000	44,330	271,064	98.6%
Telephone	AT&T pays annually; all others quarterly	5,000	1,640	5,284	105.7%
Gas	Atmos pays annually in March	140,000	-	142,344	101.7%
Cable	All pay quarterly	65,000	8,190	24,893	38.3%
Garbage	Pays quarterly on commercial roll offs	25,000	2,083	16,926	67.7%
Water/WW	Paid monthly	120,000	10,000	90,000	75.0%
TOTAL:		\$ 630,000	\$ 66,242	\$ 640,511	101.7%

	<u>Original Budget</u>	<u>MTD Actual</u>	<u>YTD Actual</u>	<u>Budget %</u>
Permits & Fees:	\$ 598,250	\$ 50,518	\$ 663,538	110.9%

Permits include Building Permits, garage sale permits, trade, and other

	<u>Account #</u>	<u>Name</u>	<u>Original Budget</u>	<u>MTD Actual</u>	<u>YTD Actual</u>	<u>Budget %</u>
	100-44300-53-00000	Building Permit Fees	275,000	22,039	273,468	99.4%
	100-44301-53-00000	Miscellaneous Permits	30,000	2,000	29,775	99.3%
	100-44302-53-00000	Backflow and Irrigation Permits	20,000	650	10,520	52.6%
	100-44305-53-00000	Plan Review	160,000	18,704	207,013	129.4%
	100-44306-53-00000	Zoning Fees	15,000	2,690	11,000	73.3%
	100-44320-53-00000	Plats	5,000	950	29,979	599.6%
	100-44325-53-00000	Trade Permits	60,000	1,820	65,378	109.0%
	100-44330-53-00000	License Registration	15,000	1,200	11,800	78.7%
	100-44332-53-00000	Rental Registration	7,500	360	8,665	115.5%
	100-44335-53-00000	Food Service	10,000	-	15,235	152.4%
	100-44345-53-00000	Garage Sale Permits	750	105	705	94.0%
TOTAL:			\$ 598,250	\$ 50,518	663,538	110.9%

	<u>Original Budget</u>	<u>MTD Actual</u>	<u>YTD Actual</u>	<u>Budget %</u>
Charges for Services:	\$ 1,560,430	\$ 173,119	\$ 1,350,192	86.5%

Charges for services consists of tower rental, ambulance fees, sanitation fees, resource officer fees, and other miscellaneous charges. Individual resource officer fees, and other miscellaneous charges. Individual revenue sources are listed below:

<u>Account #</u>	<u>Name</u>	<u>Original Budget</u>	<u>MTD Actual</u>	<u>YTD Actual</u>	<u>Budget %</u>
100-44504-00-00000	Tower Rental	52,630	5,836	37,034	70.4%
100-44502-30-00000	Ambulance	300,000	36,186	301,869	100.6%
100-44514-32-00000	Police Reports	2,000	-	235	11.8%
100-44570-32-00000	Resource Officer	-	14,785	79,281	-
100-44581-32-00000	Animal Services	3,000	-	1,053	35.1%
100-48811-32-00000	Animal Control Donations	-	-	5	-
100-48824-30-00000	Fire Inspections	2,000	-	-	0.0%
100-44582-32-00000	Wrecker	800	-	-	0.0%
100-44500-40-00000	Sanitation	1,200,000	116,311	930,715	77.6%
TOTAL:		1,560,430	173,119	1,350,192	86.5%

	<u>Original Budget</u>	<u>MTD Actual</u>	<u>YTD Actual</u>	<u>Budget %</u>
Court Fines:	\$ 247,000	\$ 3,909	\$ 156,176	63.2%

	<u>Original Budget</u>	<u>MTD Actual</u>	<u>YTD Actual</u>	<u>Budget %</u>
Miscellaneous	\$ 540,000	\$ 381,723	\$ 970,897	179.8%

Miscellaneous revenue consists of all other revenues collected that are not listed above and consists of the following:

<u>Account #</u>	<u>Name</u>	<u>Original Budget</u>	<u>MTD Actual</u>	<u>YTD Actual</u>	<u>Budget %</u>
100-44800-00-00000	Interest Revenue	300,000	73,319	612,127	204.0%
100-48802-00-00000	Auction Proceeds	90,000	54,999	54,999	61.1%
100-48805-00-00000	Palladium Proceeds	150,000	218,618	218,618	145.7%
100-48814-00-00000	Other (Misc)	-	2,072	19,927	0.0%
100-48825-00-00000	TML Ins Reimbursement	-	32,716	62,476	0.0%
100-48806-16-00000	Donations - Community Events	-	-	2,750	0.0%
TOTAL:		540,000	381,723	970,897	179.8%

			<u>Original Budget</u>	<u>MTD Actual</u>	<u>YTD Actual</u>	<u>Budget %</u>
Recreation Charges for Services			\$ 170,700	\$ 31,905	\$ 149,733	87.7%
Account #	Name		<u>Original Budget</u>	<u>MTD Actual</u>	<u>YTD Actual</u>	<u>Budget %</u>
100-44512-16-00000	Park Reservations		-	-	-	-
100-44503-60-00000	Room Rental Fees		64,000	9,933	63,880	99.8%
100-44505-60-00000	Gym Rental Fees		10,000	-	-	0.0%
100-44506-60-00000	Membership Fees		55,000	5,109	40,469	73.6%
100-44507-60-00000	Sponsorship Revenue		1,200	-	-	0.0%
100-44508-60-00000	Comm Ctr POS Sales		500	-	-	0.0%
100-44509-60-00000	Comm Ctr Day Passes		30,000	2,611	16,901	56.3%
100-44510-60-00000	Athletic Leagues		10,000	-	-	0.0%
100-44511-60-00000	Programs/ Classes		-	14,252	28,483	-
100-48814-60-00000	Miscellaneous Revenue		-	-	-	-
TOTAL:			170,700	31,905	149,733	87.7%

TOTAL REVENUES \$ 13,825,760 \$ 823,664 \$ 13,825,848 100.0%

	<u>Original Budget</u>	<u>MTD Actual</u>	<u>YTD Actual</u>	<u>Budget %</u>
TOTAL EXPENDITURES:	\$ 14,202,074	\$ 945,218	\$ 9,767,404	68.8%

GENERAL FUND
REVENUES AND EXPENDITURES - BUDGET AND ACTUAL
FY 2024-2025 WITH PRIOR YEAR COMPARISON
FOR THE MONTH ENDED JUNE 30, 2025

75.00%

	CURRENT FISCAL YEAR							PRIOR FISCAL YEAR				
	BUDGET		ACTUAL			PROJECTED		BUDGET		FY ACTUAL		
	FY 2024-25		M-T-D	Y-T-D	Y-T-D	FY 2024-25		FY 2023-24		FY 2023-24		
	Adopted Budget	Amended Budget	Jun-25	Jun-25	% Budget	Jun-25	% Budget	Adopted Budget	Amended Budget	M-T-D June-24	Y-T-D June-24	Y-T-D % Budget
Revenues:												
Property Tax	8,779,380		19,183	8,946,026	101.9%	6,584,535	75.0%	8,215,757	8,215,757	8,970	7,901,323	96.2%
Franchise Fees	630,000		66,242	550,511	87.4%	472,500	75.0%	596,500	596,500	55,654	577,148	96.8%
Sales Tax	1,300,000		97,065	948,775	73.0%	975,000	75.0%	965,000	965,000	97,562	946,687	98.1%
Charges for Service	1,560,430		173,119	1,350,192	86.5%	1,170,323	75.0%	1,502,000	1,502,000	179,988	1,239,103	82.5%
Interest	300,000		73,319	612,127	204.0%	225,000	75.0%	150,000	150,000	31,621	310,787	207.2%
Miscellaneous	90,000		89,786	140,152	155.7%	67,500	75.0%	20,000	20,000	4,582	12,682	63.4%
Court Fines	247,000		3,909	156,176	63.2%	185,250	75.0%	247,000	247,000	23,402	175,937	71.2%
Permits & Fees	598,250		50,518	663,538	110.9%	448,688	75.0%	758,650	758,650	73,020	489,893	64.6%
Recreation	170,700		31,905	149,733	87.7%	128,025	75.0%	154,800	154,800	24,958	95,710	61.8%
Donation (GHHFC Co. Dev.)	150,000		218,618	218,618	145.7%	112,500	75.0%	220,000	220,000	-	192,842	87.7%
Total Revenues	\$ 13,825,760	\$ -	\$ 823,664	\$ 13,735,848	99.3%	\$ 10,369,320	75.0%	\$ 12,829,707	12,829,707	499,757	11,942,111	93.1%
Expenditures:												
01 - City Council	\$ 307,600		16,636	177,828	57.8%	230,700	75.0%	\$ 286,250	\$ 286,250	33,997	137,253	47.9%
10 - City Manager	611,463		39,831	412,469	67.5%	458,597	75.0%	585,927	585,927	41,694	392,229	66.9%
11 - Administration	92,800		2,753	29,589	31.9%	69,600	75.0%	72,800	72,800	3,526	40,755	56.0%
12 - City Secretary	200,372		(12,352)	198,391	99.0%	150,279	75.0%	242,074	242,074	25,573	167,136	69.0%
13 - Human Resources	430,350		17,645	405,473	94.2%	322,763	75.0%	333,487	333,487	17,785	196,461	58.9%
14 - IT	663,766		39,867	509,914	76.8%	497,825	75.0%	525,749	525,749	67,580	430,357	81.9%
16 - Community Engagement	326,807		10,290	170,454	52.2%	245,105	75.0%	319,482	319,482	20,605	113,328	35.5%
20 - Finance	467,050		38,898	411,770	88.2%	350,288	75.0%	431,929	431,929	18,212	302,862	70.1%
21 - Municipal Court	224,755		15,413	146,249	65.1%	168,566	75.0%	160,014	160,014	11,456	106,659	66.7%
30 - Fire	2,930,695		175,595	2,131,973	72.7%	2,198,021	75.0%	2,650,927	2,650,927	189,570	1,817,305	68.6%
32 - Police	4,008,068		227,864	2,616,404	65.3%	3,006,051	75.0%	3,568,570	3,568,570	259,975	2,476,256	69.4%
40 - Streets	2,513,951		310,388	1,822,062	72.5%	1,885,463	75.0%	2,311,401	2,311,401	89,102	1,328,380	57.5%
52 - Economic Development	54,650		-	8,995	16.5%	40,988	75.0%	36,950	36,950	-	10,867	29.4%
53 - Planning	486,202		15,634	332,895	68.5%	364,652	75.0%	430,265	430,265	36,803	319,938	74.4%
60 - Parks and Recreation	742,147		41,782	327,681	44.2%	556,610	75.0%	523,325	523,325	47,706	287,103	54.9%
62 - Grounds Maintenance	141,398		4,974	65,257	46.2%	106,049	75.0%	212,406	212,406	13,138	142,735	67.2%
Total Expenditures	\$ 14,202,074	\$ -	\$ 945,218	\$ 9,767,404	68.8%	10,651,556	75.0%	\$ 12,691,556	\$ 12,691,556	\$ 876,722	\$ 8,269,624	65.2%
Total Revenues Over (Under) Exp	\$ (376,315)	\$ -	\$ (121,553)	\$ 3,968,444		\$ (282,236)		\$ 138,152	\$ 138,152	\$ (376,965)	\$ 3,672,486	

	CURRENT FISCAL YEAR						PRIOR FISCAL YEAR					
	BUDGET		ACTUAL			PROJECTED		BUDGET		FY ACTUAL		
	FY 2024-25		M-T-D	Y-T-D	Y-T-D	FY 2024-25		FY 2023-24		FY 2023-24		
	Adopted Budget	Amended Budget	Jun-25	Jun-25	% Budget	Jun-25	% Budget	Adopted Budget	Amended Budget	M-T-D June-24	Y-T-D June-24	Y-T-D % Budget
Other Financing Sources (Uses):												
Transfers In (Out):												
Charge for Service (Mgt)	15,000	-	1,250	11,250	75.0%	11,250	75.0%	15,000	15,000	1,250	11,250	75.0%
Charge for Service (City Wide)	6,000	-	500	4,500	75.0%	4,500	75.0%	6,000	6,000	500	4,500	75.0%
Transfer from Fund 205-911 Wireless	69,000	-	5,750	51,750	75.0%	51,750	75.0%	69,000	69,000	5,750	51,750	75.0%
Transfer from/(to) Court Security	20,000	-	1,667	15,000	75.0%	15,000	75.0%	20,000	20,000	-	-	0.0%
Transfer from Drainage Fund	15,775	-	1,315	11,831	75.0%	11,831	75.0%	15,775	15,775	1,315	11,831	75.0%
Transfer to Fund 410 Capital Project Fund	-	-	-	-	-	-	-	(679,180)	(679,180)	-	-	0.0%
Transfer to Vehicle Replacement Fund	-	-	-	-	-	-	-	(303,000)	(303,000)	-	-	0.0%
Transfer to State Seizure Fund	-	-	-	(2,678)	-	-	-	-	-	-	-	0.0%
Transfer to Disaster Recovery Fund	-	-	-	-	-	-	-	-	-	-	(130,184)	0.0%
Net Change in Fund Balance	\$ (250,539)	\$ -	\$ (111,072)	\$ 4,060,098		\$ 94,331		\$ (718,253)	\$ (718,254)	\$ (368,150)	\$ 3,621,633	
Total Unassigned Fund Balance - BOY	12,163,394		12,163,394	12,163,394				8,541,761	8,541,761	8,541,761	8,541,761	
Total Fund Balance - EOY	\$ 11,912,855	\$ -	12,052,322	\$ 16,223,492				\$ 7,823,508	\$ 7,823,508	\$ 8,173,611	\$ 12,163,394	
Less: Commitments for Specific Use	-	-	-	-								
Less: Assigned for Specific Use	-	-	-	-								
Ending Fund Balance - Unassigned	\$ 11,912,855	\$ -	\$ 12,052,322	\$ 16,223,492				7,823,508	7,823,508	8,173,611	12,163,394	
AVERAGE DAILY EXPENDITURES	38,910	-		35,910				34,771	34,771		30,403	
Number of Days In Reserve	306			452				225			400	

**WATER AND SEWER FUND
FOR THE MONTH ENDED JUNE 30, 2025**

**Summary
Revenues & Expenditures - Budget & Actual**

Water Fund Fund
Balance as of June 30,
2025 is ≈\$3,686,999

154 days of reserves
as of June 30, 2025

WATER REVENUE

Water sales for June was \$401,075 or 8.4% of the budget. This is an increase of \$21,883 (≈5.5%) from June 2024.

SEWER REVENUE

Sewer sales for June was \$471,976 or 9.2% of the budget. This is a decrease of \$10,874(≈2.3%) from June 2024.

SUMMARY OF WATER & SEWER FUND REVENUES (75% of FY)

	<u>Original Budget</u>	<u>AMENDED</u>	<u>MTD Actual</u>	<u>YTD Actual</u>	<u>Budget %</u>
<u>TOTAL REVENUES:</u>	\$ 10,282,200	\$ -	\$ 919,408	\$ 7,434,389	72.3%

Water and Sewer sales

	<u>Original Budget</u>	<u>AMENDED</u>	<u>MTD Actual</u>	<u>YTD Actual</u>	<u>Budget %</u>
Water Sales	\$ 4,750,000		\$ 401,075	\$ 3,058,066	64.4%

	<u>Original Budget</u>	<u>AMENDED</u>	<u>MTD Actual</u>	<u>YTD Actual</u>	<u>Budget %</u>
Sewer Sales	\$ 5,120,000	\$ -	\$ 471,976	\$ 3,892,483	76.0%

	<u>Original Budget</u>	<u>AMENDED</u>	<u>MTD Actual</u>	<u>YTD Actual</u>	<u>Budget %</u>
Other Fees	\$ 370,000	\$ -	\$ 31,935	\$ 321,469	86.9%

	<u>Original Budget</u>	<u>AMENDED</u>	<u>MTD Actual</u>	<u>YTD Actual</u>	<u>Budget %</u>
Interest	\$ 40,000	\$ -	\$ 13,897	\$ 157,900	394.8%

	<u>Original Budget</u>	<u>AMENDED</u>	<u>MTD Actual</u>	<u>YTD Actual</u>	<u>Budget %</u>
Miscellaneous Income	\$ 2,200	\$ -	\$ 525	\$ 4,471	203.2%

SUMMARY OF WATER & SEWER FUND EXPENDITURES

	<u>Budget</u>	<u>AMENDED</u>	<u>MTD Actual</u>	<u>Actual</u>	<u>Budget %</u>
<u>TOTAL EXPENDITURES:</u>	\$ 9,779,861	\$ -	\$ 778,898	\$ 6,307,153	64.5%

WATER & SEWER FUND
REVENUES AND EXPENDITURES - BUDGET AND ACTUAL
FY 2024-25 WITH PRIOR YEAR COMPARISON

FOR THE MONTH ENDED JUNE 30, 2025
75.00%

	CURRENT FISCAL YEAR						PRIOR FISCAL YEAR					
	BUDGET		ACTUAL			PROJECTED		BUDGET		FY ACTUAL		
	FY 2024-25		M-T-D	Y-T-D	Y-T-D	FY 2024-25		FY 2023-24		FY 2023-24		
	Adopted Budget	Amended Budget	Jun-25	Jun-25	%	Jun-25	%	Adopted Budget	Amended Budget	M-T-D June-24	Y-T-D June-24	Y-T-D % Budget
Revenues:												
Water Sales	4,750,000		401,075	3,058,066	64.4%	3,562,500	75.0%	4,764,520	\$ 4,764,520	379,192	3,063,905	64.31%
Sewer Sales	5,120,000		471,976	3,892,483	76.0%	3,840,000	75.0%	4,601,540	4,601,540	482,850	4,003,618	87.01%
Late Charges	300,000		25,628	234,352	78.1%	225,000	75.0%	145,000	145,000	28,510	120,561	83.15%
Reconnection Fees	30,000		5,355	34,300	114.3%	22,500	75.0%	30,000	30,000	16,905	33,390	111.30%
Water Meters	35,000		952	52,817	150.9%	26,250	75.0%	65,000	65,000	-	19,203	29.54%
Tap Fees	5,000		-	-	0.0%	3,750	75.0%	5,000	5,000	-	-	0.00%
Interest Earnings	40,000		13,897	157,900	394.8%	30,000	75.0%	7,500	7,500	3,875	41,388	551.84%
Tampering Fees	-		-	-	0.0%	-	0.0%	-	-	-	-	-
Miscellaneous	2,200		525	4,471	203.2%	1,650	75.0%	2,200	2,200	45,315	80,353	3652.40%
Total Revenues	\$ 10,282,200	\$ -	\$ 919,408	\$ 7,434,389	72.3%	\$ 7,711,650	75.0%	\$ 9,620,760	\$ 9,620,760	\$ 956,646	\$ 7,362,418	76.53%
Expenditures:												
Transfer to GF (MGT)	-		1,250	11,250	-	-	-	15,000	15,000	1,250	11,250	75.00%
Transfer to GF (City Wide)	-		500	4,500	-	-	-	6,000	6,000	500	4,500	75.00%
Utility Administration	504,417		38,513	369,401	73.2%	378,313	75.0%	442,162	442,162	32,661	321,669	72.75%
Water Operations	3,045,433		288,388	2,099,132	68.9%	2,284,075	75.0%	2,790,867	2,790,867	231,092	1,683,379	60.32%
Wastewater Operations	5,969,742		445,969	3,730,670	62.5%	4,477,307	75.0%	5,922,232	5,922,232	417,426	3,502,304	59.14%
Meter Services	260,269		4,278	92,200	35.4%	195,202	75.0%	94,879	94,879	230	46,799	49.33%
Total Expenditures	\$ 9,779,861	\$ -	\$ 778,898	\$ 6,307,153	64.5%	\$ 7,346,146	75.1%	\$ 9,271,140	\$ 9,271,140	\$ 683,160	\$ 5,569,902	60.08%
Total Revenues Over (Under) Exp	\$ 502,339	\$ -	\$ 140,510	\$ 1,127,236		\$ 365,504		\$ 349,620	\$ 349,620	\$ 273,486	\$ 1,792,516	
Other Funding Sources (Uses):												
Loan Principal (Smart meters)	(168,470)	-	-	(168,462)	-	(168,462)	100.0%	(164,437)	(164,437)	-	(164,438)	100.00%
Loan Interest (Smart meters)	(56,700)	-	-	(56,699)	-	(56,699)	100.0%	(60,723)	(60,723)	-	(60,723)	100.00%
Transfers In (Out):	-	-	-	-	-	-	-	-	-	-	-	-
W/S Capital	-		-	(304,503)	-	(304,503)	-	-	-	-	(304,503)	-
Net Change in Fund Balance	\$ 277,169	\$ -	\$ 140,510	\$ 597,572		\$ -		\$ 124,460	\$ 124,460	\$ 273,486	\$ 1,262,852	
Total Unrestricted Fund Balance - BOY	3,089,427		3,089,427	3,089,427		-		1,826,575	1,826,575	1,826,575	1,826,575	
Total Fund Balance - EOY	\$ 5,602,225	\$ -	\$ 6,544,058	\$ 7,001,120		\$ -		\$ 5,140,696	\$ 5,140,696	\$ 5,414,182	\$ 6,403,548	
Less: Commitments for Specific Use	-		-	-		-		-	-	-	-	
Less: Assigned for Specific Use	(3,314,121)		(3,314,121)	(3,314,121)		-		(3,314,121)	(3,314,121)	(3,314,121)	(3,314,121)	
Ending Fund Balance - Unrestricted	\$ 2,288,104	\$ -	\$ 3,229,937	\$ 3,686,999		\$ -		\$ 1,826,575	\$ 1,826,575	\$ 2,100,061	\$ 3,089,427	\$ -
AVERAGE DAILY EXPENDITURES	27,411	-	23,958	23,958		-		26,017	26,017	21,305	21,305	
Number of Days In Reserve	83		154	154		70		70		145	145	

**DRAINAGE FUND
FOR THE MONTH ENDED JUNE 30, 2025**

**Summary
Revenues & Expenditures - Budget & Actual**

Drainage Fund Fund
Balance as of June 30,
2025 is ≈\$1,110,350

839 days of reserves
as of June 30, 2025

DRAINAGE FEE REVENUE

Drainage Fees June: \$32,622 or 7.0% of the budget. This is an decrease of \$220 (≈.67%) from June 2024.

Appendix A. Municipal Drainage System Fees	
Residential properties: \$5.08 per month.	
Nonresidential properties are based on lot size as shown below:	
Property Size	Monthly Fee
Less than or equal to 25,000 square feet	\$15.00
Greater than 25,000 square feet and less than or equal to 43,560 square feet	\$30.00
Greater than 43,560 square feet and less than or equal to 130,680 square feet	\$50.00
Greater than 130,680 square feet and less than or equal to 217,800 square feet	\$100.00
Greater than 217,800 square feet	\$175.00

SUMMARY OF MUNICIPAL DRAINAGE FUND (75.00% of FY)

	Budget	AMENDED	Actual	Budget %
<u>TOTAL REVENUES:</u>	\$ 471,420	\$ -	\$ 314,803	66.8%

	Budget	AMENDED	Actual	Budget %
<u>TOTAL EXPENDITURES:</u>	\$ 679,414	\$ -	\$ 359,936	53.0%

DRAINAGE FUND
REVENUES AND EXPENDITURES - BUDGET AND ACTUAL
FY 2024-25 WITH PRIOR YEAR COMPARISON
FOR THE MONTH ENDED JUNE 30, 2025

75.00%

	CURRENT FISCAL YEAR							PRIOR FISCAL YEAR				
	BUDGET		ACTUAL			FY PROJECTED		BUDGET		FY ACTUAL		
	FY 2024-25		M-T-D	Y-T-D	Y-T-D	FY 2024-25		FY 2023-24		FY 2023-24		
	Original Budget	Amended Budget	Jun-25	Jun-25	% Budget	Jun-25	% Budget	Adopted Budget	Amended Budget	M-T-D June-24	Y-T-D June-24	Y-T-D % Budget
Revenues:												
Drainage Fees - Residential	\$ 426,420		28,147	245,256	57.5%	319,815	75.0%	426,420	426,420	30,229	264,874	62.1%
Drainage Fees - Commercial	41,000		4,475	27,820	67.9%	30,750	75.0%	41,000	41,000	2,613	22,414	54.7%
Interest	4,000		4,329	41,727	1043.2%	3,000	75.0%	4,000	4,000	2,347	21,254	531.3%
Misc Revenue	-		-	-	-	-		-	-	-	-	
Total Revenues	\$ 471,420	\$ -	\$ 36,952	\$ 314,803	66.8%	\$ 353,565	75.0%	\$ 471,420	\$ 471,420	\$ 35,188	\$ 308,542	65.4%
Expenditures:												
Stormwater Operations	409,414		24,661	347,274	84.8%	307,061	75.0%	372,873	372,873	15,438	156,198	41.9%
Top of the Hills Drainage Project CIP	250,000		-	920	0.4%	187,500	75.0%	350,000	350,000	202,904	255,973	73.1%
Kingston Meadows Drainage Project	10,000		1,900	6,821	68.2%	7,500	75.0%	10,000	10,000	-	-	0.0%
Gateway Drainage Project	10,000		-	4,921	49.2%	7,500	75.0%	5,000	5,000	-	-	0.0%
Total Expenditures	\$ 679,414	\$ -	\$ 26,561	\$ 359,936	53.0%	\$ 494,561	72.8%	\$ 737,873	\$ 737,873	\$ 218,342	\$ 412,171	55.9%
Total Revenues Over (Under) Exp	\$ (207,994)	\$ -	\$ 10,390	\$ (45,132)		\$ (140,996)		\$ (266,453)	\$ (266,453)	\$ (183,153)	\$ (103,629)	
Other Financing Sources (Uses):												
Operating Transfer to General Fund	(15,775)		(1,315)	(11,831)	75.0%	7,887	50.0%	(300,000)	(300,000)	(1,315)	(11,831)	3.9%
Capital Projects Fund - City Commitment	-	-	-	-		-		-	-	-	-	
Net Change in Fund Balance	\$ (223,769)	\$ -	\$ 9,076	\$ (56,964)				\$ (566,453)	\$ (566,453)	\$ (184,468)	\$ (115,461)	
Total Unrestricted Fund Balance - BOY	\$ 1,167,314	\$ 1,167,314	\$ 1,167,314	\$ 1,167,314				\$ 1,140,746	\$ 1,140,746	\$ 1,140,746	\$ 1,140,746	
Total Fund Balance - EOY	\$ 943,545	\$ 1,167,314	\$ 1,176,390	\$ 1,110,350		\$ -		\$ 574,293	\$ 574,293	\$ 956,278	\$ 1,025,285	
Less: Commitments for Specific Use	-	-	-	-		-		-	-	-	-	
Ending Fund Balance - Unrestricted	\$ 943,545	\$ 1,167,314	\$ 1,176,390	\$ 1,110,350		\$ -		\$ 574,293	\$ 574,293	\$ 956,278	\$ 1,025,285	
AVERAGE DAILY EXPENDITURES	\$ 1,861		\$ 1,323					\$ 2,022		\$ 1,515		
Number of Days In Reserve	507		839					284		677		

OTHER FUNDS
FOR THE MONTH ENDED JUNE 30, 2025

Summary
Revenues & Expenditures - Budget & Actual

SUMMARY OF OTHER FUNDS (75.00% of FY)

300 - DEBT SERVICE FUND					
		Budget	AMENDED	Actual	Budget %
TOTAL REVENUES:		\$ 1,413,320	\$ -	\$ 1,444,525	102.2%
		Budget	AMENDED	Actual	Budget %
TOTAL EXPENDITURES:		\$ 1,400,870	\$ -	\$ 1,227,008	87.6%
205 - E911 FUND					
		Budget	AMENDED	Actual	Budget %
TOTAL REVENUES:		\$ 80,500	\$ -	\$ 196,482	244.1%
		Budget	AMENDED	Actual	Budget %
TOTAL EXPENDITURES:		\$ 79,000	\$ -	\$ 51,750	65.51%
406 - VEHICLE REPLACEMENT FUND					
		BUDGET	AMENDED	Actual	Budget %
TOTAL REVENUES:		\$ -	\$ -	\$ 4,992	#DIV/0!
		BUDGET	AMENDED	Actual	Budget %
TOTAL EXPENDITURES:		\$ 303,000	\$ -	\$ 83,456	27.5%
515 - WATER SEWER IMPACT FUND					
		BUDGET	AMENDED	Actual	Budget %
TOTAL REVENUES:		\$ -	\$ -	\$ 11,935	#DIV/0!
		BUDGET	AMENDED	Actual	Budget %
TOTAL EXPENDITURES:		\$ 876,450	\$ -	\$ 462,026	52.7%

**OTHER FUNDS: FINANCIAL SUMMARY
REVENUES AND EXPENDITURES - BUDGET AND ACTUAL
FOR THE MONTH ENDED JUNE 30, 2025**

FUND	FUND NAME	BUDGET					Y-T-D ACTUAL							
		Revenues	Expenditures	Change in Fund Balances	Fund Balance Beginning of Year	Fund Balance End of Year	Revenues	% Budget	Expenditures	% Budget	Change in Fund Balances	% Budget	Fund Balance Beginning of Year	Y-T-D Fund Balance Projection
DEBT SERVICE FUND														
300	Debt Service Fund	\$ 1,413,320	\$ 1,400,870	\$ 12,450	\$ 145,557	\$ 158,007	\$ 1,444,525	102%	\$ 1,227,008	88%	\$ 217,517	1747.1%	\$ 145,557	\$ 363,074

SPECIAL REVENUE FUNDS														
200	Court Technology Fund	\$ 4,600	\$ 4,000	\$ 600	\$ 19,414	\$ 20,014	\$ 3,183	69%	\$ 3,635	91%	\$ (452)	-75.3%	\$ 19,414	\$ 18,962
201	Court Security Fund	6,750	6,750	-	48,947	48,947	5,845	87%	15,000	222%	(9,155)	0.0%	48,947	39,792
205	E911 Fund	80,500	79,000	1,500	172,408	173,908	196,482	244%	51,750	66%	144,732	9648.8%	172,408	317,140
213	Federal Seizure Fund	-	-	-	3,347	3,347	112	0%	-	0%	112	0.0%	3,347	3,459
214	State Seizure Fund	-	-	-	8,846	8,846	3,050	0%	-	0%	3,050	0.0%	8,846	11,896
250	Operating Grants Fund	2,626,836	3,140,836	(514,000)	(48,605)	(562,605)	722,666	28%	1,599,258	51%	(876,592)	170.5%	(48,605)	(925,197)
251	ARPA Fund	2,000,000	2,000,000	-	1,575,293	1,575,293	143,838	7%	142,341	7%	1,496	0.0%	1,575,293	1,576,789
		\$ 4,718,686	\$ 5,230,586	\$ (511,900)	\$ 1,779,650	\$ 1,267,750	\$ 1,075,176		\$ 1,811,985		\$ (736,809)		\$ 1,779,650	\$ 1,042,841

CAPITAL PROJECTS FUND														
215	Street Impact Fees (restri)	\$ 600,000	\$ 900,000	\$ (300,000)	\$ 1,731,103	\$ 1,431,103	\$ 3,621	1%	\$ 115,762	13%	\$ (112,141)	37.4%	\$ 1,731,103	\$ 1,618,962
230	Park Fees	-	550,000	(550,000)	1,561,919	1,011,919	61,607	-	-	0%	61,607	-11.2%	1,561,919	1,623,526
403	2016 GO Bonds	1,348,000	4,348,000	(3,000,000)	3,560,824	560,824	305,342	23%	225,263	5%	80,078	-2.7%	3,560,824	3,640,902
406	Vehicle Replacement Fund	-	164,500	(164,500)	172,563	8,063	4,992	-	83,456	51%	(78,464)	47.7%	172,563	94,099
410	Reserved for Capital Projects	374,947	830,690	(455,743)	2,237,710	1,781,967	5,759	2%	843,493	102%	(837,734)	183.8%	2,237,710	1,399,976
515-1&2	Water Sewer Impact Fund	-	876,450	(876,450)	1,350,389	473,939	11,935	-	462,026	53%	(450,091)	51.4%	1,350,389	900,298
		\$ 2,322,947	\$ 7,669,640	\$ (5,346,693)	\$ 10,643,434	\$ 5,296,741	\$ 393,255		\$ 1,730,000		\$ (1,336,745)		\$ 10,643,434	\$ 9,306,689

ACCOUNTS PAYABLE LIST

INVOICES PAID - JUNE 2025

Vendor No.	Vendor Name	Invoice Number	Invoice Date	Invoice Status	Account Number	Account Description	Amount	Check Number	Check Date
100155	STAR CATERING AND VENDING	8263106	06/02/25	P	100-53013-60-00000	OTHER PROFESSIONAL SERVICES	720.00	134383	06/02/25
						TOTAL FOR CHECK #134383	720.00		
100155	STAR CATERING AND VENDING	08263106-2	06/06/25	P	100-53013-60-00000	OTHER PROFESSIONAL SERVICES	720.00	134384	06/06/25
						TOTAL FOR CHECK #134384	720.00		
4092	ADT SECURITY SECURITY SERVICES	1142541887	06/06/25	P	100-53308-14-00000	TELECOMMUNICATIONS	64.14	134385	06/06/25
4092	ADT SECURITY SECURITY SERVICES	1140722241	06/06/25	P	100-53528-20-00000	LATE PAYMENT PENALTIES	1.00	134385	06/06/25
						TOTAL FOR CHECK #134385	65.14		
1768	AIR SUPPLY	2060011	06/03/25	P	100-51353-30-00000	PERSONAL PROTECTIVE EQUIPMENT	80.92	134386	06/06/25
						TOTAL FOR CHECK #134386	80.92		
100026	Atwood Distributing	2353	05/06/25	P	550-53201-46-00000	R & M SMALL EQUIPMENT	75.98	134387	06/06/25
						TOTAL FOR CHECK #134387	75.98		
1715	AT&T MOBILITY	2025.05.25	06/06/25	P	100-53300-14-00000	CELL PHONES & WIRELESS CARDS	608.73	134388	06/06/25
1715	AT&T MOBILITY	2025.05.25	06/06/25	P	100-53329-01-00000	CITY COUNCIL CELL PHONES	243.69	134388	06/06/25
1715	AT&T MOBILITY	2025.05.25	06/06/25	P	100-53300-14-00000	CELL PHONES & WIRELESS CARDS	2,113.99	134388	06/06/25
1715	AT&T MOBILITY	2025.05.25	06/06/25	P	100-53300-14-00000	CELL PHONES & WIRELESS CARDS	1,069.05	134388	06/06/25
						TOTAL FOR CHECK #134388	4,035.46		
100066	Baker, Marchelle	MB-05-2025	06/06/25	P	100-22145-00-00000	INSTRUCTOR PAYABLE	165.75	134389	06/06/25
						TOTAL FOR CHECK #134389	165.75		
1	Brandon Jackson	BJ-06.06.25	06/06/25	P	100-22300-00-00000	CUSTOMER DEPOSITS PAYABLE	250.00	134390	06/06/25
						TOTAL FOR CHECK #134390	250.00		
1769	BRITTON METER REPAIR	13123	05/16/25	P	500-53204-41-00000	R&M WATER SYSTEM	134.00	134391	06/06/25
1769	BRITTON METER REPAIR	13161	05/30/25	P	500-51323-41-00000	HAND TOOLS	78.00	134391	06/06/25
						TOTAL FOR CHECK #134391	212.00		
3938	CALLAWAY, CASS ROBERT	20250530	06/06/25	P	100-53017-21-00000	MUNICIPAL JUDGE	3,000.00	134392	06/06/25
						TOTAL FOR CHECK #134392	3,000.00		
3086	CITY OF DESOTO	JAIL 06-2025	06/06/25	P	100-51318-32-00000	PRISONER EXPENSES	6,666.66	134393	06/06/25
						TOTAL FOR CHECK #134393	6,666.66		
100061	Code-3 Safety&Fire Equipment	8196	05/28/25	P	100-53200-40-00000	R & M STRUCTURES	720.33	134394	06/06/25
						TOTAL FOR CHECK #134394	720.33		
4233	COMMUNITY WASTE DISPOSAL L.P.	1680731	04/30/25	P	100-53115-40-00000	SANITATION SERVICES	97,372.68	134395	06/06/25
						TOTAL FOR CHECK #134395	97,372.68		

Vendor No.	Vendor Name	Invoice Number	Invoice Date	Invoice Status	Account Number	Account Description	Amount	Check Number	Check Date
100078	CUSTOM PRODUCTS CORPORATION	INV28391	05/23/25	P	100-53012-40-00000	TRAFFIC SIGNAL MAINT	1,157.92	134396	06/06/25
						TOTAL FOR CHECK #134396	1,157.92		
1	Dana McNutt	DM-06.06.25	06/06/25	P	100-22300-00-00000	CUSTOMER DEPOSITS PAYABLE	250.00	134397	06/06/25
						TOTAL FOR CHECK #134397	250.00		
4152	DEDICATED CONTROLS LLC	14227	05/30/25	P	100-53200-40-00000	R & M STRUCTURES	350.00	134398	06/06/25
						TOTAL FOR CHECK #134398	350.00		
100255	Door Services Corporation	340233458	05/27/25	P	410-55001-99-ADACD	CAPITAL EXPENDITURES	490.72	134399	06/06/25
						TOTAL FOR CHECK #134399	490.72		
100243	EGSW LLC	INV-2604	05/28/25	P	500-51313-42-00000	CHEMICALS	8,700.00	134400	06/06/25
						TOTAL FOR CHECK #134400	8,700.00		
100111	FERGUSON US HOLDINGS, INC	1582658	05/23/25	P	500-11250-00-00000	DUE FROM BUILDERS	2,490.16	134401	06/06/25
						TOTAL FOR CHECK #134401	2,490.16		
1944	GALLS PARENT HOLDINGS, LLC	31344666	05/15/25	P	100-51300-30-00000	UNIFORM & CLOTHING	22.65	134402	06/06/25
1944	GALLS PARENT HOLDINGS, LLC	31396441	05/21/25	P	100-51300-30-00000	UNIFORM & CLOTHING	634.12	134402	06/06/25
						TOTAL FOR CHECK #134402	656.77		
100124	GPS INSIGHT INC.	INV1697695	05/01/25	P	100-53325-14-00000	SOFTWARE LICENSING	745.80	134403	06/06/25
						TOTAL FOR CHECK #134403	745.80		
2088	Home Depot Credit Services	6902903	03/26/25	P	100-53511-40-00000	RENTAL EQUIPMENT	106.95	134404	06/06/25
2088	Home Depot Credit Services	9901056	05/22/25	P	550-53245-46-00000	R&M STORM WATER SYSTEM	250.96	134404	06/06/25
2088	Home Depot Credit Services	9901036	04/22/25	P	100-53511-40-00000	RENTAL EQUIPMENT	25.00	134404	06/06/25
2088	Home Depot Credit Services	6902903 REFUND	06/07/25	P	100-53511-40-00000	RENTAL EQUIPMENT	(16.18)	134404	06/06/25
2088	Home Depot Credit Services	9901056 CREDIT	06/07/25	P	550-53245-46-00000	R&M STORM WATER SYSTEM	(5.02)	134404	06/06/25
						TOTAL FOR CHECK #134404	361.71		
2034	IMPERATIVE INFORMATION GROUP,	272566	06/06/25	P	100-53548-13-00000	EMPLOYEE BACKGROUND CHECK	923.75	134405	06/06/25
						TOTAL FOR CHECK #134405	923.75		
4102	INSIGHT PUBLIC SECTOR	1101252487	02/28/25	P	100-53325-14-00000	SOFTWARE LICENSING	2,418.36	134406	06/06/25
4102	INSIGHT PUBLIC SECTOR	1101210047	09/30/24	P	100-53325-14-00000	SOFTWARE LICENSING	2,390.36	134406	06/06/25
4102	INSIGHT PUBLIC SECTOR	1101261845	03/31/25	P	100-53325-14-00000	SOFTWARE LICENSING	2,418.36	134406	06/06/25
4102	INSIGHT PUBLIC SECTOR	1101270308	04/30/25	P	100-53325-14-00000	SOFTWARE LICENSING	2,448.94	134406	06/06/25
						TOTAL FOR CHECK #134406	9,676.02		
4102	INSIGHT PUBLIC SECTOR	1101235723	12/31/24	P	100-53325-14-00000	SOFTWARE LICENSING	2,418.36	134407	06/06/25
						TOTAL FOR CHECK #134407	2,418.36		

Vendor No.	Vendor Name	Invoice Number	Invoice Date	Invoice Status	Account Number	Account Description	Amount	Check Number	Check Date
1649	KEITH'S ACE HARDWARE	157643	03/27/25	P	100-53218-40-00000	R&M SIGNS & MARKINGS	34.95	134408	06/06/25
1649	KEITH'S ACE HARDWARE	157510	03/17/25	P	100-53200-40-00000	R & M STRUCTURES	14.97	134408	06/06/25
1649	KEITH'S ACE HARDWARE	158145	05/02/25	P	500-53206-42-00000	R & M HEAVY EQUIPMENT	25.13	134408	06/06/25
1649	KEITH'S ACE HARDWARE	158118	05/01/25	P	550-53245-46-00000	R&M STORM WATER SYSTEM	182.75	134408	06/06/25
1649	KEITH'S ACE HARDWARE	158113	05/01/25	P	500-53204-41-00000	R&M WATER SYSTEM	73.56	134408	06/06/25
1649	KEITH'S ACE HARDWARE	158237	05/08/25	P	500-53206-41-00000	R & M HEAVY EQUIPMENT	11.96	134408	06/06/25
1649	KEITH'S ACE HARDWARE	158131	05/01/25	P	500-53204-41-00000	R&M WATER SYSTEM	9.98	134408	06/06/25
1649	KEITH'S ACE HARDWARE	158133	05/02/25	P	100-53201-62-00000	R & M SMALL EQUIPMENT	52.00	134408	06/06/25
1649	KEITH'S ACE HARDWARE	158230	05/08/25	P	100-53200-40-00000	R & M STRUCTURES	21.54	134408	06/06/25
1649	KEITH'S ACE HARDWARE	158226	05/08/25	P	100-53200-40-00000	R & M STRUCTURES	14.99	134408	06/06/25
1649	KEITH'S ACE HARDWARE	158225	05/08/25	P	100-51323-62-00000	HAND TOOLS	87.96	134408	06/06/25
1649	KEITH'S ACE HARDWARE	158225	05/08/25	P	500-51323-41-00000	HAND TOOLS	7.99	134408	06/06/25
1649	KEITH'S ACE HARDWARE	158225	05/08/25	P	100-53200-40-00000	R & M STRUCTURES	69.94	134408	06/06/25
1649	KEITH'S ACE HARDWARE	158202	05/07/25	P	500-51323-41-00000	HAND TOOLS	38.98	134408	06/06/25
1649	KEITH'S ACE HARDWARE	158185	05/06/25	P	100-51323-40-00000	HAND TOOLS	117.96	134408	06/06/25
1649	KEITH'S ACE HARDWARE	158359	05/15/25	P	100-53200-40-00000	R & M STRUCTURES	50.13	134408	06/06/25
1649	KEITH'S ACE HARDWARE	158342	05/15/25	P	100-53200-40-00000	R & M STRUCTURES	23.99	134408	06/06/25
1649	KEITH'S ACE HARDWARE	158520	05/27/25	P	100-53200-40-00000	R & M STRUCTURES	4.99	134408	06/06/25
1649	KEITH'S ACE HARDWARE	158518	05/27/25	P	500-53200-42-00000	R & M STRUCTURES	19.14	134408	06/06/25
1649	KEITH'S ACE HARDWARE	158527	05/27/25	P	500-51323-42-00000	HAND TOOLS	13.99	134408	06/06/25
1649	KEITH'S ACE HARDWARE	158528	05/27/25	P	100-53200-40-00000	R & M STRUCTURES	9.99	134408	06/06/25
1649	KEITH'S ACE HARDWARE	158305	05/13/25	P	100-53201-62-00000	R & M SMALL EQUIPMENT	153.00	134408	06/06/25
						TOTAL FOR CHECK #134408	1,039.89		
1	Kimberly Holt	KH-06.06.25	06/06/25	P	100-22300-00-00000	CUSTOMER DEPOSITS PAYABLE	250.00	134409	06/06/25
						TOTAL FOR CHECK #134409	250.00		
1	Laquita Barnes	LB-06.06.25	06/06/25	P	100-22300-00-00000	CUSTOMER DEPOSITS PAYABLE	250.00	134410	06/06/25
						TOTAL FOR CHECK #134410	250.00		
3146	MOTOROLA SOLUTIONS INC.	1187143381	05/18/25	P	500-55001-41-00000	CAPITAL EXPENDITURES	75,756.85	134411	06/06/25
3146	MOTOROLA SOLUTIONS INC.	1187143384	05/18/25	P	250-55001-30-00000	CAPITAL EXPENDITURES	50,126.83	134411	06/06/25
						TOTAL FOR CHECK #134411	125,883.68		
2227	NATIONAL ALL PRO QUICK LUBE	137374	05/27/25	P	500-53202-41-00000	R & M AUTO/TRUCK	57.95	134412	06/06/25
						TOTAL FOR CHECK #134412	57.95		
2251	O'REILLY AUTOMOTIVE, INC.	0868-239369	04/30/25	P	100-53202-32-00000	R & M AUTO/TRUCK	222.18	134413	06/06/25
2251	O'REILLY AUTOMOTIVE, INC.	0868-239591	04/30/25	P	100-53202-62-00000	R & M AUTO/TRUCK	50.38	134413	06/06/25
2251	O'REILLY AUTOMOTIVE, INC.	0868-239357	04/29/25	P	500-53202-41-00000	R & M AUTO/TRUCK	45.88	134413	06/06/25
2251	O'REILLY AUTOMOTIVE, INC.	0868-239357	04/29/25	P	100-53202-40-00000	R & M AUTO/TRUCK	58.66	134413	06/06/25
2251	O'REILLY AUTOMOTIVE, INC.	0868-239357	04/29/25	P	100-51323-62-00000	HAND TOOLS	51.97	134413	06/06/25
2251	O'REILLY AUTOMOTIVE, INC.	0868-208696	11/15/24	P	500-53202-41-00000	R & M AUTO/TRUCK	(210.02)	134413	06/06/25
2251	O'REILLY AUTOMOTIVE, INC.	0868-237013	04/16/25	P	550-53206-46-00000	R & M HEAVY EQUIPMENT	31.98	134413	06/06/25
2251	O'REILLY AUTOMOTIVE, INC.	0868-237013	04/16/25	P	500-53206-41-00000	R & M HEAVY EQUIPMENT	31.98	134413	06/06/25
2251	O'REILLY AUTOMOTIVE, INC.	0868-239357 CR.	06/07/25	P	500-53202-41-00000	R & M AUTO/TRUCK	(0.92)	134413	06/06/25

Vendor No.	Vendor Name	Invoice Number	Invoice Date	Invoice Status	Account Number	Account Description	Amount	Check Number	Check Date
2251	O'REILLY AUTOMOTIVE, INC.	0868-239357 CR.	06/07/25	P	100-53202-40-00000	R & M AUTO/TRUCK	(1.17)	134413	06/06/25
2251	O'REILLY AUTOMOTIVE, INC.	0868-239357 CR.	06/07/25	P	100-51323-62-00000	HAND TOOLS	(1.04)	134413	06/06/25
2251	O'REILLY AUTOMOTIVE, INC.	0868-239369 CR.	06/07/25	P	100-53202-32-00000	R & M AUTO/TRUCK	(4.44)	134413	06/06/25
2251	O'REILLY AUTOMOTIVE, INC.	0868-239591 CR.	06/07/25	P	100-53202-62-00000	R & M AUTO/TRUCK	(1.01)	134413	06/06/25
						TOTAL FOR CHECK #134413	274.43		
3284	PATILLO, BROWN & HILL, L.L.P.	506228	06/06/25	P	100-53001-01-00000	AUDITING	5,000.00	134414	06/06/25
3284	PATILLO, BROWN & HILL, L.L.P.	506239	06/06/25	P	100-53001-01-00000	AUDITING	3,000.00	134414	06/06/25
						TOTAL FOR CHECK #134414	8,000.00		
1	Plakisia Wright	PW-06.06.25	06/06/25	P	100-22300-00-00000	CUSTOMER DEPOSITS PAYABLE	250.00	134415	06/06/25
						TOTAL FOR CHECK #134415	250.00		
100191	RASHEED, STACEY	SR-05-2025	06/06/25	P	100-22145-00-00000	INSTRUCTOR PAYABLE	245.70	134416	06/06/25
						TOTAL FOR CHECK #134416	245.70		
2312	RED OAK CAR WASH	ROCW#379	06/03/25	P	500-53202-41-00000	R & M AUTO/TRUCK	8.00	134417	06/06/25
						TOTAL FOR CHECK #134417	8.00		
4183	RITA COOK	SAN0000021	05/31/25	P	100-53311-16-00000	MARKETING & COMMUNICATIONS	62.50	134418	06/06/25
						TOTAL FOR CHECK #134418	62.50		
100155	STAR CATERING AND VENDING	8263110	06/06/25	P	100-53013-60-00000	OTHER PROFESSIONAL SERVICES	756.00	134419	06/06/25
						TOTAL FOR CHECK #134419	756.00		
4207	TELEFLEX LLC	9510072072	05/30/25	P	100-51314-30-00000	AMBULANCE SUPPLIES	665.00	134420	06/06/25
						TOTAL FOR CHECK #134420	665.00		
1703	TIRE TECH CORPORATION	143302	06/04/25	P	100-53206-40-00000	R & M HEAVY EQUIPMENT	450.00	134421	06/06/25
						TOTAL FOR CHECK #134421	450.00		
1	Ulisa Jackson	UJ-06.06.25	06/06/25	P	100-22300-00-00000	CUSTOMER DEPOSITS PAYABLE	250.00	134422	06/06/25
						TOTAL FOR CHECK #134422	250.00		
1742	USA BLUEBOOK	INV00698363	05/01/25	P	500-53204-41-00000	R&M WATER SYSTEM	229.95	134423	06/06/25
Totals	for Check: 134423					TOTAL FOR CHECK #134423	229.95		
100181	BELLE STUDIO, LLC	MC-05-2025	06/06/25	P	100-22145-00-00000	INSTRUCTOR PAYABLE	71.50	134424	06/06/25
						TOTAL FOR CHECK #134424	71.50		
100182	MITCHELL, VALLERY	VM-05-2025	06/06/25	P	100-22145-00-00000	INSTRUCTOR PAYABLE	195.00	134425	06/06/25
						TOTAL FOR CHECK #134425	195.00		
1769	BRITTON METER REPAIR	13181	06/05/25	P	500-53204-41-00000	R&M WATER SYSTEM	262.00	134426	06/16/25
						TOTAL FOR CHECK #134426	262.00		

Vendor No.	Vendor Name	Invoice Number	Invoice Date	Invoice Status	Account Number	Account Description	Amount	Check Number	Check Date
2115	BSN SPORTS LLC	929811281	05/14/25	P	500-51300-41-00000	UNIFORM & CLOTHING	289.20	134427	06/16/25
2115	BSN SPORTS LLC	929811281	05/14/25	P	100-51300-40-00000	UNIFORM & CLOTHING	519.20	134427	06/16/25
2115	BSN SPORTS LLC	929811281	05/14/25	P	550-51300-46-00000	UNIFORM & CLOTHING	197.20	134427	06/16/25
2115	BSN SPORTS LLC	929811281	05/14/25	P	100-51300-62-00000	UNIFORM & CLOTHING	59.20	134427	06/16/25
2115	BSN SPORTS LLC	929811281	05/14/25	P	500-51300-42-00000	UNIFORM & CLOTHING	151.20	134427	06/16/25
						TOTAL FOR CHECK #134427	1,216.00		
4130	DAHILL OFFICE TECHNOLOGY CORPO	40612548	06/14/25	P	100-53050-14-00000	OPERATING LEASES-COPIERS	1,140.25	134428	06/16/25
4130	DAHILL OFFICE TECHNOLOGY CORPO	40612547	06/11/25	P	100-53050-14-00000	OPERATING LEASES-COPIERS	89.00	134428	06/16/25
						TOTAL FOR CHECK #134428	1,229.25		
4155	DAHILL OFFICE TECHNOLOGY CORPO	IN5697340	06/14/25	P	100-53324-11-00000	PRINTING, COPY & PHOTO	202.41	134429	06/16/25
4155	DAHILL OFFICE TECHNOLOGY CORPO	IN5697340	06/14/25	P	100-53324-11-00000	PRINTING, COPY & PHOTO	16.95	134429	06/16/25
4155	DAHILL OFFICE TECHNOLOGY CORPO	IN5697340	06/14/25	P	100-53324-11-00000	PRINTING, COPY & PHOTO	63.38	134429	06/16/25
4155	DAHILL OFFICE TECHNOLOGY CORPO	IN5697340	06/14/25	P	100-53324-60-00000	PRINTING, COPY & PHOTO	74.18	134429	06/16/25
4155	DAHILL OFFICE TECHNOLOGY CORPO	IN5697340	06/14/25	P	100-53324-11-00000	PRINTING, COPY & PHOTO	7.88	134429	06/16/25
4155	DAHILL OFFICE TECHNOLOGY CORPO	IN5697340	06/14/25	P	100-53324-32-00000	PRINTING, COPY & PHOTO	41.61	134429	06/16/25
4155	DAHILL OFFICE TECHNOLOGY CORPO	IN5697340	06/14/25	P	100-53324-53-00000	PRINTING, COPY & PHOTO	122.99	134429	06/16/25
						TOTAL FOR CHECK #134429	529.40		
100193	EQUIPMENTSHARE.COM, INC.	5262775	05/23/25	P	550-53206-46-00000	R & M HEAVY EQUIPMENT	891.66	134430	06/16/25
						TOTAL FOR CHECK #134430	891.66		
1956	GRAINGER	9514388504	05/21/25	P	100-53200-40-00000	R & M STRUCTURES	230.87	134431	06/16/25
						TOTAL FOR CHECK #134431	230.87		
2088	Home Depot Credit Services	2010021	05/29/25	P	500-51323-41-00000	HAND TOOLS	236.78	134432	06/16/25
2088	Home Depot Credit Services	1021953	05/30/25	P	100-53200-40-00000	R & M STRUCTURES	111.69	134432	06/16/25
2088	Home Depot Credit Services	1021953	05/30/25	P	100-51323-40-00000	HAND TOOLS	96.91	134432	06/16/25
2088	Home Depot Credit Services	2010021 CREDIT	06/14/25	P	500-51323-41-00000	HAND TOOLS	(4.74)	134432	06/16/25
2088	Home Depot Credit Services	1021953 CREDIT	06/14/25	P	100-53200-40-00000	R & M STRUCTURES	(2.23)	134432	06/16/25
2088	Home Depot Credit Services	1021953 CREDIT	06/14/25	P	100-51323-40-00000	HAND TOOLS	(1.94)	134432	06/16/25
						TOTAL FOR CHECK #134432	436.47		
4209	JAMES HARRIS	FD SVC REPAIR	05/29/25	P	100-53200-40-00000	R & M STRUCTURES	1,175.06	134433	06/16/25
						TOTAL FOR CHECK #134433	1,175.06		
100178	MR. TREE SERVICE	417	05/19/25	P	550-53211-46-00000	KINGSTON MEADOWS DRAINAGE	1,900.00	134434	06/16/25
						TOTAL FOR CHECK #134434	1,900.00		
2251	O'REILLY AUTOMOTIVE, INC.	0868-245578	06/02/25	P	100-53202-40-00000	R & M AUTO/TRUCK	24.97	134435	06/16/25
2251	O'REILLY AUTOMOTIVE, INC.	0868-245578	06/02/25	P	500-53202-42-00000	R & M AUTO/TRUCK	24.98	134435	06/16/25
2251	O'REILLY AUTOMOTIVE, INC.	0868-245578 CR.	06/14/25	P	100-53202-40-00000	R & M AUTO/TRUCK	(0.50)	134435	06/16/25
2251	O'REILLY AUTOMOTIVE, INC.	0868-245578 CR.	06/14/25	P	500-53202-42-00000	R & M AUTO/TRUCK	(0.50)	134435	06/16/25
						TOTAL FOR CHECK #134435	48.95		

Vendor No.	Vendor Name	Invoice Number	Invoice Date	Invoice Status	Account Number	Account Description	Amount	Check Number	Check Date
4221	PUMP SOLUTIONS	2025-05162	05/30/25	P	500-53200-41-00000	R & M STRUCTURES	1,750.00	134436	06/16/25
						TOTAL FOR CHECK #134436	1,750.00		
4164	RANDY R. KELLY JR	7346	06/02/25	P	500-53204-41-00000	R&M WATER SYSTEM	700.81	134437	06/16/25
4164	RANDY R. KELLY JR	7389	06/03/25	P	500-53202-42-00000	R & M AUTO/TRUCK	206.17	134437	06/16/25
						TOTAL FOR CHECK #134437	906.98		
2379	SUNBELT RENTALS	169140387-001	05/21/25	P	500-53511-41-00000	RENTAL EQUIPMENT	196.00	134438	06/16/25
						TOTAL FOR CHECK #134438	196.00		
100192	TK ELEVATOR CORPORATION	3008600022	06/01/25	P	100-53200-40-00000	R & M STRUCTURES	675.00	134439	06/16/25
						TOTAL FOR CHECK #134439	675.00		
2458	TRINITY RIVER AUTHORITY	FL 11530	06/10/25	P	500-53337-41-00000	TRA LAB EXPENSE	497.88	134440	06/16/25
						TOTAL FOR CHECK #134440	497.88		
2419	TEXAS MUNICIPAL	200202505061810	05/08/25	P	100-22113-00-00000	RETIREMENT (TMRS) PAYABLE	16,049.23	134446	06/13/25
2419	TEXAS MUNICIPAL	200202505061810	05/08/25	P	100-51081-10-00000	T.M.R.S	732.15	134446	06/13/25
2419	TEXAS MUNICIPAL	200202505061810	05/08/25	P	100-51081-12-00000	T.M.R.S	175.07	134446	06/13/25
2419	TEXAS MUNICIPAL	200202505061810	05/08/25	P	100-51081-13-00000	T.M.R.S	303.91	134446	06/13/25
2419	TEXAS MUNICIPAL	200202505061810	05/08/25	P	100-51081-14-00000	T.M.R.S	251.54	134446	06/13/25
2419	TEXAS MUNICIPAL	200202505061810	05/08/25	P	100-51081-20-00000	T.M.R.S	297.06	134446	06/13/25
2419	TEXAS MUNICIPAL	200202505061810	05/08/25	P	100-51081-21-00000	T.M.R.S	408.47	134446	06/13/25
2419	TEXAS MUNICIPAL	200202505061810	05/08/25	P	100-51081-30-00000	T.M.R.S	2,934.22	134446	06/13/25
2419	TEXAS MUNICIPAL	200202505061810	05/08/25	P	100-51081-32-00000	T.M.R.S	4,336.80	134446	06/13/25
2419	TEXAS MUNICIPAL	200202505061810	05/08/25	P	100-51081-40-00000	T.M.R.S	873.79	134446	06/13/25
2419	TEXAS MUNICIPAL	200202505061810	05/08/25	P	100-51081-53-00000	T.M.R.S	289.06	134446	06/13/25
2419	TEXAS MUNICIPAL	200202505061810	05/08/25	P	100-51081-16-00000	T.M.R.S	102.52	134446	06/13/25
2419	TEXAS MUNICIPAL	200202505061810	05/08/25	P	100-51081-62-00000	T.M.R.S	78.03	134446	06/13/25
2419	TEXAS MUNICIPAL	200202505061810	05/08/25	P	100-51081-60-00000	T.M.R.S	371.63	134446	06/13/25
2419	TEXAS MUNICIPAL	200202505061810	05/08/25	P	500-22113-00-00000	RETIREMENT (TMRS) PAYABLE	1,423.20	134446	06/13/25
2419	TEXAS MUNICIPAL	200202505061810	05/08/25	P	500-51081-22-00000	T.M.R.S	254.31	134446	06/13/25
2419	TEXAS MUNICIPAL	200202505061810	05/08/25	P	500-51081-41-00000	T.M.R.S	539.61	134446	06/13/25
2419	TEXAS MUNICIPAL	200202505061810	05/08/25	P	500-51081-42-00000	T.M.R.S	195.21	134446	06/13/25
2419	TEXAS MUNICIPAL	200202505061810	05/08/25	P	550-22113-00-00000	RETIREMENT (TMRS) PAYABLE	549.25	134446	06/13/25
2419	TEXAS MUNICIPAL	200202505061810	05/08/25	P	550-51081-46-00000	T.M.R.S	381.73	134446	06/13/25
2419	TEXAS MUNICIPAL	200202505211811	05/22/25	P	100-22113-00-00000	RETIREMENT (TMRS) PAYABLE	15,381.54	134446	06/13/25
2419	TEXAS MUNICIPAL	200202505211811	05/22/25	P	100-51081-10-00000	T.M.R.S	753.00	134446	06/13/25
2419	TEXAS MUNICIPAL	200202505211811	05/22/25	P	100-51081-12-00000	T.M.R.S	175.07	134446	06/13/25
2419	TEXAS MUNICIPAL	200202505211811	05/22/25	P	100-51081-13-00000	T.M.R.S	303.91	134446	06/13/25
2419	TEXAS MUNICIPAL	200202505211811	05/22/25	P	100-51081-14-00000	T.M.R.S	251.54	134446	06/13/25
2419	TEXAS MUNICIPAL	200202505211811	05/22/25	P	100-51081-20-00000	T.M.R.S	297.06	134446	06/13/25
2419	TEXAS MUNICIPAL	200202505211811	05/22/25	P	100-51081-21-00000	T.M.R.S	118.10	134446	06/13/25
2419	TEXAS MUNICIPAL	200202505211811	05/22/25	P	100-51081-30-00000	T.M.R.S	2,990.98	134446	06/13/25
2419	TEXAS MUNICIPAL	200202505211811	05/22/25	P	100-51081-32-00000	T.M.R.S	4,081.02	134446	06/13/25
2419	TEXAS MUNICIPAL	200202505211811	05/22/25	P	100-51081-40-00000	T.M.R.S	878.28	134446	06/13/25

Vendor No.	Vendor Name	Invoice Number	Invoice Date	Invoice Status	Account Number	Account Description	Amount	Check Number	Check Date
2419	TEXAS MUNICIPAL	200202505211811	05/22/25	P	100-51081-53-00000	T.M.R.S	289.06	134446	06/13/25
2419	TEXAS MUNICIPAL	200202505211811	05/22/25	P	100-51081-16-00000	T.M.R.S	102.52	134446	06/13/25
2419	TEXAS MUNICIPAL	200202505211811	05/22/25	P	100-51081-62-00000	T.M.R.S	78.03	134446	06/13/25
2419	TEXAS MUNICIPAL	200202505211811	05/22/25	P	100-51081-60-00000	T.M.R.S	371.63	134446	06/13/25
2419	TEXAS MUNICIPAL	200202505211811	05/22/25	P	500-22113-00-00000	RETIREMENT (TMRS) PAYABLE	1,463.74	134446	06/13/25
2419	TEXAS MUNICIPAL	200202505211811	05/22/25	P	500-51081-22-00000	T.M.R.S	293.76	134446	06/13/25
2419	TEXAS MUNICIPAL	200202505211811	05/22/25	P	500-51081-41-00000	T.M.R.S	563.17	134446	06/13/25
2419	TEXAS MUNICIPAL	200202505211811	05/22/25	P	500-51081-42-00000	T.M.R.S	160.36	134446	06/13/25
2419	TEXAS MUNICIPAL	200202505211811	05/22/25	P	550-22113-00-00000	RETIREMENT (TMRS) PAYABLE	535.23	134446	06/13/25
2419	TEXAS MUNICIPAL	200202505211811	05/22/25	P	550-51081-46-00000	T.M.R.S	371.98	134446	06/13/25
						TOTAL FOR CHECK #134446	60,006.77		
3902	TRAVIS BRUTON	DCDP	06/23/25	P	100-53558-01-PLC03	COUNCIL INITIATIVES	250.00	134474	06/24/25
						TOTAL FOR CHECK #134474	250.00		
100126	EXPERTPAY	941202506041812	06/05/25	P	100-22120-00-00000	CHILD SUPPORT PAYABLE	317.54	134480	06/05/25
100126	EXPERTPAY	951202506041812	06/05/25	P	100-22120-00-00000	CHILD SUPPORT PAYABLE	169.85	134480	06/05/25
100126	EXPERTPAY	965202506041812	06/05/25	P	100-22120-00-00000	CHILD SUPPORT PAYABLE	369.23	134480	06/05/25
100126	EXPERTPAY	967202506041812	06/05/25	P	100-22120-00-00000	CHILD SUPPORT PAYABLE	461.54	134480	06/05/25
100126	EXPERTPAY	968202506041812	06/05/25	P	100-22120-00-00000	CHILD SUPPORT PAYABLE	659.91	134480	06/05/25
100126	EXPERTPAY	968202506041812	06/05/25	P	500-22120-00-00000	CHILD SUPPORT PAYABLE	297.78	134480	06/05/25
100126	EXPERTPAY	971202506041812	06/05/25	P	100-22120-00-00000	CHILD SUPPORT PAYABLE	570.00	134480	06/05/25
100126	EXPERTPAY	972202506041812	06/05/25	P	550-22120-00-00000	CHILD SUPPORT PAYABLE	412.15	134480	06/05/25
						TOTAL FOR CHECK #134480	3,258.00		
2765	INTERNAL REVENUE SERVICE	T1 202506041812	06/05/25	P	100-22112-00-00000	PAYROLL TAXES PAYABLE	24,725.75	134481	06/05/25
2765	INTERNAL REVENUE SERVICE	T1 202506041812	06/05/25	P	500-22112-00-00000	PAYROLL TAXES PAYABLE	1,173.96	134481	06/05/25
2765	INTERNAL REVENUE SERVICE	T1 202506041812	06/05/25	P	550-22112-00-00000	PAYROLL TAXES PAYABLE	440.33	134481	06/05/25
2765	INTERNAL REVENUE SERVICE	T3 202506041812	06/05/25	P	100-22111-00-00000	FICA PAYABLE	16,490.25	134481	06/05/25
2765	INTERNAL REVENUE SERVICE	T3 202506041812	06/05/25	P	100-51076-10-00000	PAYROLL TAXES FICA	1,050.48	134481	06/05/25
2765	INTERNAL REVENUE SERVICE	T3 202506041812	06/05/25	P	100-51076-12-00000	PAYROLL TAXES FICA	243.31	134481	06/05/25
2765	INTERNAL REVENUE SERVICE	T3 202506041812	06/05/25	P	100-51076-13-00000	PAYROLL TAXES FICA	443.10	134481	06/05/25
2765	INTERNAL REVENUE SERVICE	T3 202506041812	06/05/25	P	100-51076-14-00000	PAYROLL TAXES FICA	369.17	134481	06/05/25
2765	INTERNAL REVENUE SERVICE	T3 202506041812	06/05/25	P	100-51076-20-00000	PAYROLL TAXES FICA	433.22	134481	06/05/25
2765	INTERNAL REVENUE SERVICE	T3 202506041812	06/05/25	P	100-51076-21-00000	PAYROLL TAXES FICA	299.62	134481	06/05/25
2765	INTERNAL REVENUE SERVICE	T3 202506041812	06/05/25	P	100-51076-30-00000	PAYROLL TAXES FICA	4,781.86	134481	06/05/25
2765	INTERNAL REVENUE SERVICE	T3 202506041812	06/05/25	P	100-51076-32-00000	PAYROLL TAXES FICA	5,975.21	134481	06/05/25
2765	INTERNAL REVENUE SERVICE	T3 202506041812	06/05/25	P	100-51076-40-00000	PAYROLL TAXES FICA	1,265.50	134481	06/05/25
2765	INTERNAL REVENUE SERVICE	T3 202506041812	06/05/25	P	100-51076-53-00000	PAYROLL TAXES FICA	416.74	134481	06/05/25
2765	INTERNAL REVENUE SERVICE	T3 202506041812	06/05/25	P	100-51076-16-00000	PAYROLL TAXES FICA	149.40	134481	06/05/25
2765	INTERNAL REVENUE SERVICE	T3 202506041812	06/05/25	P	100-51076-62-00000	PAYROLL TAXES FICA	115.10	134481	06/05/25
2765	INTERNAL REVENUE SERVICE	T3 202506041812	06/05/25	P	100-51076-60-00000	PAYROLL TAXES FICA	947.54	134481	06/05/25
2765	INTERNAL REVENUE SERVICE	T3 202506041812	06/05/25	P	500-22111-00-00000	FICA PAYABLE	1,468.55	134481	06/05/25
2765	INTERNAL REVENUE SERVICE	T3 202506041812	06/05/25	P	500-51076-22-00000	PAYROLL TAXES FICA	436.86	134481	06/05/25
2765	INTERNAL REVENUE SERVICE	T3 202506041812	06/05/25	P	500-51076-41-00000	PAYROLL TAXES FICA	772.38	134481	06/05/25
2765	INTERNAL REVENUE SERVICE	T3 202506041812	06/05/25	P	500-51076-42-00000	PAYROLL TAXES FICA	259.31	134481	06/05/25

Vendor No.	Vendor Name	Invoice Number	Invoice Date	Invoice Status	Account Number	Account Description	Amount	Check Number	Check Date
2765	INTERNAL REVENUE SERVICE	T3 202506041812	06/05/25	P	550-22111-00-00000	FICA PAYABLE	538.49	134481	06/05/25
2765	INTERNAL REVENUE SERVICE	T3 202506041812	06/05/25	P	550-51076-46-00000	PAYROLL TAXES FICA	538.49	134481	06/05/25
2765	INTERNAL REVENUE SERVICE	T4 202506041812	06/05/25	P	100-22111-00-00000	FICA PAYABLE	3,856.59	134481	06/05/25
2765	INTERNAL REVENUE SERVICE	T4 202506041812	06/05/25	P	100-51076-10-00000	PAYROLL TAXES FICA	245.68	134481	06/05/25
2765	INTERNAL REVENUE SERVICE	T4 202506041812	06/05/25	P	100-51076-12-00000	PAYROLL TAXES FICA	56.90	134481	06/05/25
2765	INTERNAL REVENUE SERVICE	T4 202506041812	06/05/25	P	100-51076-13-00000	PAYROLL TAXES FICA	103.63	134481	06/05/25
2765	INTERNAL REVENUE SERVICE	T4 202506041812	06/05/25	P	100-51076-14-00000	PAYROLL TAXES FICA	86.34	134481	06/05/25
2765	INTERNAL REVENUE SERVICE	T4 202506041812	06/05/25	P	100-51076-20-00000	PAYROLL TAXES FICA	101.32	134481	06/05/25
2765	INTERNAL REVENUE SERVICE	T4 202506041812	06/05/25	P	100-51076-21-00000	PAYROLL TAXES FICA	70.07	134481	06/05/25
2765	INTERNAL REVENUE SERVICE	T4 202506041812	06/05/25	P	100-51076-30-00000	PAYROLL TAXES FICA	1,118.34	134481	06/05/25
2765	INTERNAL REVENUE SERVICE	T4 202506041812	06/05/25	P	100-51076-32-00000	PAYROLL TAXES FICA	1,397.44	134481	06/05/25
2765	INTERNAL REVENUE SERVICE	T4 202506041812	06/05/25	P	100-51076-40-00000	PAYROLL TAXES FICA	295.95	134481	06/05/25
2765	INTERNAL REVENUE SERVICE	T4 202506041812	06/05/25	P	100-51076-53-00000	PAYROLL TAXES FICA	97.46	134481	06/05/25
2765	INTERNAL REVENUE SERVICE	T4 202506041812	06/05/25	P	100-51076-16-00000	PAYROLL TAXES FICA	34.94	134481	06/05/25
2765	INTERNAL REVENUE SERVICE	T4 202506041812	06/05/25	P	100-51076-62-00000	PAYROLL TAXES FICA	26.92	134481	06/05/25
2765	INTERNAL REVENUE SERVICE	T4 202506041812	06/05/25	P	100-51076-60-00000	PAYROLL TAXES FICA	221.60	134481	06/05/25
2765	INTERNAL REVENUE SERVICE	T4 202506041812	06/05/25	P	500-22111-00-00000	FICA PAYABLE	343.46	134481	06/05/25
2765	INTERNAL REVENUE SERVICE	T4 202506041812	06/05/25	P	500-51076-22-00000	PAYROLL TAXES FICA	102.17	134481	06/05/25
2765	INTERNAL REVENUE SERVICE	T4 202506041812	06/05/25	P	500-51076-41-00000	PAYROLL TAXES FICA	180.65	134481	06/05/25
2765	INTERNAL REVENUE SERVICE	T4 202506041812	06/05/25	P	500-51076-42-00000	PAYROLL TAXES FICA	60.64	134481	06/05/25
2765	INTERNAL REVENUE SERVICE	T4 202506041812	06/05/25	P	550-22111-00-00000	FICA PAYABLE	125.93	134481	06/05/25
2765	INTERNAL REVENUE SERVICE	T4 202506041812	06/05/25	P	550-51076-46-00000	PAYROLL TAXES FICA	125.93	134481	06/05/25
						TOTAL FOR CHECK #134481	71,986.58		
1995	MISSIONSQUARE	218202506041812	06/05/25	P	100-22138-00-00000	457b CONTRIBUTIONS	15.00	134482	06/05/25
1995	MISSIONSQUARE	222202506041812	06/05/25	P	100-22138-00-00000	457b CONTRIBUTIONS	50.00	134482	06/05/25
1995	MISSIONSQUARE	227202506041812	06/05/25	P	100-22138-00-00000	457b CONTRIBUTIONS	65.00	134482	06/05/25
1995	MISSIONSQUARE	237202506041812	06/05/25	P	100-22138-00-00000	457b CONTRIBUTIONS	145.00	134482	06/05/25
1995	MISSIONSQUARE	244202506041812	06/05/25	P	100-22138-00-00000	457b CONTRIBUTIONS	25.00	134482	06/05/25
1995	MISSIONSQUARE	247202506041812	06/05/25	P	500-22138-00-00000	457b CONTRIBUTIONS	20.43	134482	06/05/25
1995	MISSIONSQUARE	250202506041812	06/05/25	P	500-22138-00-00000	457b CONTRIBUTIONS	125.00	134482	06/05/25
1995	MISSIONSQUARE	259202506041812	06/05/25	P	100-22138-00-00000	457b CONTRIBUTIONS	125.00	134482	06/05/25
1995	MISSIONSQUARE	260202506041812	06/05/25	P	100-22138-00-00000	457b CONTRIBUTIONS	65.00	134482	06/05/25
1995	MISSIONSQUARE	263202506041812	06/05/25	P	500-22138-00-00000	457b CONTRIBUTIONS	25.00	134482	06/05/25
1995	MISSIONSQUARE	268202506041812	06/05/25	P	550-22138-00-00000	457b CONTRIBUTIONS	18.71	134482	06/05/25
1995	MISSIONSQUARE	269202506041812	06/05/25	P	100-22138-00-00000	457b CONTRIBUTIONS	49.17	134482	06/05/25
1995	MISSIONSQUARE	270202506041812	06/05/25	P	100-22138-00-00000	457b CONTRIBUTIONS	50.00	134482	06/05/25
1995	MISSIONSQUARE	271202506041812	06/05/25	P	100-22138-00-00000	457b CONTRIBUTIONS	89.80	134482	06/05/25
1995	MISSIONSQUARE	272202506041812	06/05/25	P	100-22138-00-00000	457b CONTRIBUTIONS	120.56	134482	06/05/25
1995	MISSIONSQUARE	273202506041812	06/05/25	P	100-22138-00-00000	457b CONTRIBUTIONS	900.00	134482	06/05/25
1995	MISSIONSQUARE	274202506041812	06/05/25	P	100-22138-00-00000	457b CONTRIBUTIONS	208.80	134482	06/05/25
						TOTAL FOR CHECK #134482	2,097.47		
4032	OPTUM BANK, INC.	860202506041812	06/05/25	P	100-22142-00-00000	MEDICAL PAYABLE	395.57	134483	06/05/25
4032	OPTUM BANK, INC.	860202506041812	06/05/25	P	100-51084-11-00000	OPTUM-HSA	211.53	134483	06/05/25
4032	OPTUM BANK, INC.	861202506041812	06/05/25	P	100-22142-00-00000	MEDICAL PAYABLE	229.85	134483	06/05/25

Vendor No.	Vendor Name	Invoice Number	Invoice Date	Invoice Status	Account Number	Account Description	Amount	Check Number	Check Date
4032	OPTUM BANK, INC.	861202506041812	06/05/25	P	100-51084-11-00000	OPTUM-HSA	269.22	134483	06/05/25
						TOTAL FOR CHECK #134483	1,106.17		
4031	PO HOLDING LLC	858202506041812	06/05/25	P	100-22146-00-00000	DISCOVERY BENEFITS PAYABLE	1,192.81	134484	06/05/25
4031	PO HOLDING LLC	858202506041812	06/05/25	P	500-22153-00-00000	AMERICAN FIDELITY PAYABLE	63.33	134484	06/05/25
4031	PO HOLDING LLC	858202506041812	06/05/25	P	550-22153-00-00000	AMERICAN FIDELITY PAYABLE	16.25	134484	06/05/25
4031	PO HOLDING LLC	859202506041812	06/05/25	P	100-22146-00-00000	DISCOVERY BENEFITS PAYABLE	218.14	134484	06/05/25
						TOTAL FOR CHECK #134484	1,490.53		
100126	EXPERTPAY	941202506171813	06/18/25	P	100-22120-00-00000	CHILD SUPPORT PAYABLE	317.54	134486	06/18/25
100126	EXPERTPAY	951202506171813	06/18/25	P	100-22120-00-00000	CHILD SUPPORT PAYABLE	169.85	134486	06/18/25
100126	EXPERTPAY	965202506171813	06/18/25	P	100-22120-00-00000	CHILD SUPPORT PAYABLE	369.23	134486	06/18/25
100126	EXPERTPAY	967202506171813	06/18/25	P	100-22120-00-00000	CHILD SUPPORT PAYABLE	461.54	134486	06/18/25
100126	EXPERTPAY	968202506171813	06/18/25	P	100-22120-00-00000	CHILD SUPPORT PAYABLE	659.91	134486	06/18/25
100126	EXPERTPAY	968202506171813	06/18/25	P	500-22120-00-00000	CHILD SUPPORT PAYABLE	297.78	134486	06/18/25
100126	EXPERTPAY	971202506171813	06/18/25	P	100-22120-00-00000	CHILD SUPPORT PAYABLE	570.00	134486	06/18/25
100126	EXPERTPAY	972202506171813	06/18/25	P	550-22120-00-00000	CHILD SUPPORT PAYABLE	412.15	134486	06/18/25
100126	EXPERTPAY	061825 PYMT FEE	06/18/25	P	100-53520-20-00000	BANK AND PAYMENT FEES	10.50	134486	06/18/25
						TOTAL FOR CHECK #134486	3,268.50		
2765	INTERNAL REVENUE SERVICE	T1 202506171813	06/18/25	P	100-22112-00-00000	PAYROLL TAXES PAYABLE	22,986.80	134487	06/18/25
2765	INTERNAL REVENUE SERVICE	T1 202506171813	06/18/25	P	500-22112-00-00000	PAYROLL TAXES PAYABLE	1,200.60	134487	06/18/25
2765	INTERNAL REVENUE SERVICE	T1 202506171813	06/18/25	P	550-22112-00-00000	PAYROLL TAXES PAYABLE	348.36	134487	06/18/25
2765	INTERNAL REVENUE SERVICE	T3 202506171813	06/18/25	P	100-22111-00-00000	FICA PAYABLE	15,864.57	134487	06/18/25
2765	INTERNAL REVENUE SERVICE	T3 202506171813	06/18/25	P	100-51076-10-00000	PAYROLL TAXES FICA	1,084.99	134487	06/18/25
2765	INTERNAL REVENUE SERVICE	T3 202506171813	06/18/25	P	100-51076-12-00000	PAYROLL TAXES FICA	243.31	134487	06/18/25
2765	INTERNAL REVENUE SERVICE	T3 202506171813	06/18/25	P	100-51076-13-00000	PAYROLL TAXES FICA	443.10	134487	06/18/25
2765	INTERNAL REVENUE SERVICE	T3 202506171813	06/18/25	P	100-51076-14-00000	PAYROLL TAXES FICA	369.17	134487	06/18/25
2765	INTERNAL REVENUE SERVICE	T3 202506171813	06/18/25	P	100-51076-20-00000	PAYROLL TAXES FICA	433.22	134487	06/18/25
2765	INTERNAL REVENUE SERVICE	T3 202506171813	06/18/25	P	100-51076-21-00000	PAYROLL TAXES FICA	299.62	134487	06/18/25
2765	INTERNAL REVENUE SERVICE	T3 202506171813	06/18/25	P	100-51076-30-00000	PAYROLL TAXES FICA	4,217.79	134487	06/18/25
2765	INTERNAL REVENUE SERVICE	T3 202506171813	06/18/25	P	100-51076-32-00000	PAYROLL TAXES FICA	5,665.20	134487	06/18/25
2765	INTERNAL REVENUE SERVICE	T3 202506171813	06/18/25	P	100-51076-40-00000	PAYROLL TAXES FICA	1,221.21	134487	06/18/25
2765	INTERNAL REVENUE SERVICE	T3 202506171813	06/18/25	P	100-51076-53-00000	PAYROLL TAXES FICA	416.74	134487	06/18/25
2765	INTERNAL REVENUE SERVICE	T3 202506171813	06/18/25	P	100-51076-16-00000	PAYROLL TAXES FICA	149.40	134487	06/18/25
2765	INTERNAL REVENUE SERVICE	T3 202506171813	06/18/25	P	100-51076-62-00000	PAYROLL TAXES FICA	115.10	134487	06/18/25
2765	INTERNAL REVENUE SERVICE	T3 202506171813	06/18/25	P	100-51076-60-00000	PAYROLL TAXES FICA	1,205.72	134487	06/18/25
2765	INTERNAL REVENUE SERVICE	T3 202506171813	06/18/25	P	500-22111-00-00000	FICA PAYABLE	1,490.38	134487	06/18/25
2765	INTERNAL REVENUE SERVICE	T3 202506171813	06/18/25	P	500-51076-22-00000	PAYROLL TAXES FICA	436.86	134487	06/18/25
2765	INTERNAL REVENUE SERVICE	T3 202506171813	06/18/25	P	500-51076-41-00000	PAYROLL TAXES FICA	763.89	134487	06/18/25
2765	INTERNAL REVENUE SERVICE	T3 202506171813	06/18/25	P	500-51076-42-00000	PAYROLL TAXES FICA	289.63	134487	06/18/25
2765	INTERNAL REVENUE SERVICE	T3 202506171813	06/18/25	P	550-22111-00-00000	FICA PAYABLE	517.07	134487	06/18/25
2765	INTERNAL REVENUE SERVICE	T3 202506171813	06/18/25	P	550-51076-46-00000	PAYROLL TAXES FICA	517.07	134487	06/18/25
2765	INTERNAL REVENUE SERVICE	T4 202506171813	06/18/25	P	100-22111-00-00000	FICA PAYABLE	3,710.24	134487	06/18/25
2765	INTERNAL REVENUE SERVICE	T4 202506171813	06/18/25	P	100-51076-10-00000	PAYROLL TAXES FICA	253.75	134487	06/18/25
2765	INTERNAL REVENUE SERVICE	T4 202506171813	06/18/25	P	100-51076-12-00000	PAYROLL TAXES FICA	56.90	134487	06/18/25

Vendor No.	Vendor Name	Invoice Number	Invoice Date	Invoice Status	Account Number	Account Description	Amount	Check Number	Check Date
2765	INTERNAL REVENUE SERVICE	T4 202506171813	06/18/25	P	100-51076-13-00000	PAYROLL TAXES FICA	103.63	134487	06/18/25
2765	INTERNAL REVENUE SERVICE	T4 202506171813	06/18/25	P	100-51076-14-00000	PAYROLL TAXES FICA	86.34	134487	06/18/25
2765	INTERNAL REVENUE SERVICE	T4 202506171813	06/18/25	P	100-51076-20-00000	PAYROLL TAXES FICA	101.32	134487	06/18/25
2765	INTERNAL REVENUE SERVICE	T4 202506171813	06/18/25	P	100-51076-21-00000	PAYROLL TAXES FICA	70.07	134487	06/18/25
2765	INTERNAL REVENUE SERVICE	T4 202506171813	06/18/25	P	100-51076-30-00000	PAYROLL TAXES FICA	986.42	134487	06/18/25
2765	INTERNAL REVENUE SERVICE	T4 202506171813	06/18/25	P	100-51076-32-00000	PAYROLL TAXES FICA	1,324.93	134487	06/18/25
2765	INTERNAL REVENUE SERVICE	T4 202506171813	06/18/25	P	100-51076-40-00000	PAYROLL TAXES FICA	285.59	134487	06/18/25
2765	INTERNAL REVENUE SERVICE	T4 202506171813	06/18/25	P	100-51076-53-00000	PAYROLL TAXES FICA	97.46	134487	06/18/25
2765	INTERNAL REVENUE SERVICE	T4 202506171813	06/18/25	P	100-51076-16-00000	PAYROLL TAXES FICA	34.94	134487	06/18/25
2765	INTERNAL REVENUE SERVICE	T4 202506171813	06/18/25	P	100-51076-62-00000	PAYROLL TAXES FICA	26.92	134487	06/18/25
2765	INTERNAL REVENUE SERVICE	T4 202506171813	06/18/25	P	100-51076-60-00000	PAYROLL TAXES FICA	281.97	134487	06/18/25
2765	INTERNAL REVENUE SERVICE	T4 202506171813	06/18/25	P	500-22111-00-00000	FICA PAYABLE	348.55	134487	06/18/25
2765	INTERNAL REVENUE SERVICE	T4 202506171813	06/18/25	P	500-51076-22-00000	PAYROLL TAXES FICA	102.17	134487	06/18/25
2765	INTERNAL REVENUE SERVICE	T4 202506171813	06/18/25	P	500-51076-41-00000	PAYROLL TAXES FICA	178.65	134487	06/18/25
2765	INTERNAL REVENUE SERVICE	T4 202506171813	06/18/25	P	500-51076-42-00000	PAYROLL TAXES FICA	67.73	134487	06/18/25
2765	INTERNAL REVENUE SERVICE	T4 202506171813	06/18/25	P	550-22111-00-00000	FICA PAYABLE	120.92	134487	06/18/25
2765	INTERNAL REVENUE SERVICE	T4 202506171813	06/18/25	P	550-51076-46-00000	PAYROLL TAXES FICA	120.92	134487	06/18/25
						TOTAL FOR CHECK #134487	68,639.22		
1995	MISSIONSQUARE	218202506171813	06/18/25	P	100-22138-00-00000	457b CONTRIBUTIONS	15.00	134488	06/18/25
1995	MISSIONSQUARE	222202506171813	06/18/25	P	100-22138-00-00000	457b CONTRIBUTIONS	50.00	134488	06/18/25
1995	MISSIONSQUARE	227202506171813	06/18/25	P	100-22138-00-00000	457b CONTRIBUTIONS	65.00	134488	06/18/25
1995	MISSIONSQUARE	237202506171813	06/18/25	P	100-22138-00-00000	457b CONTRIBUTIONS	145.00	134488	06/18/25
1995	MISSIONSQUARE	244202506171813	06/18/25	P	100-22138-00-00000	457b CONTRIBUTIONS	25.00	134488	06/18/25
1995	MISSIONSQUARE	247202506171813	06/18/25	P	500-22138-00-00000	457b CONTRIBUTIONS	19.70	134488	06/18/25
1995	MISSIONSQUARE	250202506171813	06/18/25	P	500-22138-00-00000	457b CONTRIBUTIONS	125.00	134488	06/18/25
1995	MISSIONSQUARE	259202506171813	06/18/25	P	100-22138-00-00000	457b CONTRIBUTIONS	125.00	134488	06/18/25
1995	MISSIONSQUARE	260202506171813	06/18/25	P	100-22138-00-00000	457b CONTRIBUTIONS	65.00	134488	06/18/25
1995	MISSIONSQUARE	263202506171813	06/18/25	P	500-22138-00-00000	457b CONTRIBUTIONS	25.00	134488	06/18/25
1995	MISSIONSQUARE	268202506171813	06/18/25	P	550-22138-00-00000	457b CONTRIBUTIONS	18.71	134488	06/18/25
1995	MISSIONSQUARE	269202506171813	06/18/25	P	100-22138-00-00000	457b CONTRIBUTIONS	49.17	134488	06/18/25
1995	MISSIONSQUARE	270202506171813	06/18/25	P	100-22138-00-00000	457b CONTRIBUTIONS	50.00	134488	06/18/25
1995	MISSIONSQUARE	271202506171813	06/18/25	P	100-22138-00-00000	457b CONTRIBUTIONS	89.80	134488	06/18/25
1995	MISSIONSQUARE	272202506171813	06/18/25	P	100-22138-00-00000	457b CONTRIBUTIONS	111.66	134488	06/18/25
1995	MISSIONSQUARE	273202506171813	06/18/25	P	100-22138-00-00000	457b CONTRIBUTIONS	900.00	134488	06/18/25
1995	MISSIONSQUARE	274202506171813	06/18/25	P	100-22138-00-00000	457b CONTRIBUTIONS	185.99	134488	06/18/25
						TOTAL FOR CHECK #134488	2,065.03		
4032	OPTUM BANK, INC.	860202506171813	06/18/25	P	100-22142-00-00000	MEDICAL PAYABLE	395.57	134491	06/18/25
4032	OPTUM BANK, INC.	860202506171813	06/18/25	P	100-51084-11-00000	OPTUM-HSA	211.53	134491	06/18/25
4032	OPTUM BANK, INC.	861202506171813	06/18/25	P	100-22142-00-00000	MEDICAL PAYABLE	229.85	134491	06/18/25
4032	OPTUM BANK, INC.	861202506171813	06/18/25	P	100-51084-11-00000	OPTUM-HSA	269.22	134491	06/18/25
						TOTAL FOR CHECK #134491	1,106.17		

Vendor No.	Vendor Name	Invoice Number	Invoice Date	Invoice Status	Account Number	Account Description	Amount	Check Number	Check Date
4031	PO HOLDING LLC	858202506171813	06/18/25	P	100-22146-00-00000	DISCOVERY BENEFITS PAYABLE	1,192.81	134492	06/18/25
4031	PO HOLDING LLC	858202506171813	06/18/25	P	500-22153-00-00000	AMERICAN FIDELITY PAYABLE	63.33	134492	06/18/25
4031	PO HOLDING LLC	858202506171813	06/18/25	P	550-22153-00-00000	AMERICAN FIDELITY PAYABLE	16.25	134492	06/18/25
4031	PO HOLDING LLC	859202506171813	06/18/25	P	100-22146-00-00000	DISCOVERY BENEFITS PAYABLE	218.14	134492	06/18/25
						TOTAL FOR CHECK #134492	1,490.53		
4180	MUTUAL OF OMAHA INSURANCE COMP	648202506041812	06/05/25	P	100-51078-13-00000	INSURANCE	16.29	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	648202506041812	06/05/25	P	100-51078-14-00000	INSURANCE	32.58	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	648202506041812	06/05/25	P	100-51078-20-00000	INSURANCE	32.58	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	648202506041812	06/05/25	P	100-51078-21-00000	INSURANCE	16.29	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	648202506041812	06/05/25	P	100-51078-30-00000	INSURANCE	179.19	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	648202506041812	06/05/25	P	100-51078-32-00000	INSURANCE	260.64	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	648202506041812	06/05/25	P	100-51078-40-00000	INSURANCE	71.49	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	648202506041812	06/05/25	P	100-51078-53-00000	INSURANCE	16.29	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	648202506041812	06/05/25	P	100-51078-16-00000	INSURANCE	16.29	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	648202506041812	06/05/25	P	100-51078-62-00000	INSURANCE	16.29	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	648202506041812	06/05/25	P	100-51078-60-00000	INSURANCE	32.58	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	648202506041812	06/05/25	P	500-51078-22-00000	INSURANCE	48.87	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	648202506041812	06/05/25	P	500-51078-41-00000	INSURANCE	42.54	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	648202506041812	06/05/25	P	500-51078-42-00000	INSURANCE	18.76	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	648202506041812	06/05/25	P	550-51078-46-00000	INSURANCE	13.82	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	649202506041812	06/05/25	P	100-22149-00-00000	DENTAL PAYABLE	98.82	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	649202506041812	06/05/25	P	100-51078-30-00000	INSURANCE	35.22	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	649202506041812	06/05/25	P	100-51078-32-00000	INSURANCE	70.44	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	649202506041812	06/05/25	P	500-22149-00-00000	DENTAL PAYABLE	32.94	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	649202506041812	06/05/25	P	500-51078-41-00000	INSURANCE	17.61	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	649202506041812	06/05/25	P	500-51078-42-00000	INSURANCE	17.61	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	650202506041812	06/05/25	P	100-22149-00-00000	DENTAL PAYABLE	340.34	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	650202506041812	06/05/25	P	100-51078-10-00000	INSURANCE	17.06	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	650202506041812	06/05/25	P	100-51078-12-00000	INSURANCE	17.06	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	650202506041812	06/05/25	P	100-51078-21-00000	INSURANCE	17.06	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	650202506041812	06/05/25	P	100-51078-30-00000	INSURANCE	17.06	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	650202506041812	06/05/25	P	100-51078-32-00000	INSURANCE	153.54	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	650202506041812	06/05/25	P	100-51078-60-00000	INSURANCE	17.06	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	650202506041812	06/05/25	P	500-22149-00-00000	DENTAL PAYABLE	48.62	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	650202506041812	06/05/25	P	500-51078-41-00000	INSURANCE	34.12	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	650202506041812	06/05/25	P	550-22149-00-00000	DENTAL PAYABLE	24.31	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	650202506041812	06/05/25	P	550-51078-46-00000	INSURANCE	17.06	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	651202506041812	06/05/25	P	100-22149-00-00000	DENTAL PAYABLE	574.20	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	651202506041812	06/05/25	P	100-51078-10-00000	INSURANCE	32.54	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	651202506041812	06/05/25	P	100-51078-30-00000	INSURANCE	113.89	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	651202506041812	06/05/25	P	100-51078-32-00000	INSURANCE	48.81	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	651202506041812	06/05/25	P	100-51078-40-00000	INSURANCE	16.27	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	651202506041812	06/05/25	P	500-22149-00-00000	DENTAL PAYABLE	47.85	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	651202506041812	06/05/25	P	500-51078-22-00000	INSURANCE	16.27	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	652202506041812	06/05/25	P	100-22131-00-00000	VISION PAYABLE	106.60	134494	06/24/25

Vendor No.	Vendor Name	Invoice Number	Invoice Date	Invoice Status	Account Number	Account Description	Amount	Check Number	Check Date
4180	MUTUAL OF OMAHA INSURANCE COMP	652202506041812	06/05/25	P	500-22131-00-00000	VISION PAYABLE	20.54	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	653202506041812	06/05/25	P	100-22131-00-00000	VISION PAYABLE	33.00	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	653202506041812	06/05/25	P	500-22131-00-00000	VISION PAYABLE	5.50	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	654202506041812	06/05/25	P	100-22131-00-00000	VISION PAYABLE	69.84	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	654202506041812	06/05/25	P	500-22131-00-00000	VISION PAYABLE	5.82	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	654202506041812	06/05/25	P	550-22131-00-00000	VISION PAYABLE	5.82	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	655202506041812	06/05/25	P	100-22131-00-00000	VISION PAYABLE	122.08	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	655202506041812	06/05/25	P	500-22131-00-00000	VISION PAYABLE	8.72	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	810202506041812	06/05/25	P	100-22146-00-00000	DISCOVERY BENEFITS PAYABLE	435.80	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	810202506041812	06/05/25	P	500-22153-00-00000	AMERICAN FIDELITY PAYABLE	49.90	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	810202506041812	06/05/25	P	550-22153-00-00000	AMERICAN FIDELITY PAYABLE	4.45	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	811202506041812	06/05/25	P	100-22146-00-00000	DISCOVERY BENEFITS PAYABLE	128.53	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	811202506041812	06/05/25	P	500-22153-00-00000	AMERICAN FIDELITY PAYABLE	25.29	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	811202506041812	06/05/25	P	550-22153-00-00000	AMERICAN FIDELITY PAYABLE	3.94	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	812202506041812	06/05/25	P	100-22146-00-00000	DISCOVERY BENEFITS PAYABLE	32.08	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	813202506041812	06/05/25	P	100-22146-00-00000	DISCOVERY BENEFITS PAYABLE	108.99	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	813202506041812	06/05/25	P	550-22153-00-00000	AMERICAN FIDELITY PAYABLE	12.11	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	814202506041812	06/05/25	P	100-22146-00-00000	DISCOVERY BENEFITS PAYABLE	110.88	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	815202506041812	06/05/25	P	100-22146-00-00000	DISCOVERY BENEFITS PAYABLE	95.10	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	815202506041812	06/05/25	P	500-22153-00-00000	AMERICAN FIDELITY PAYABLE	28.53	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	816202506041812	06/05/25	P	100-22146-00-00000	DISCOVERY BENEFITS PAYABLE	43.72	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	817202506041812	06/05/25	P	100-22146-00-00000	DISCOVERY BENEFITS PAYABLE	91.84	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	818202506041812	06/05/25	P	100-22146-00-00000	DISCOVERY BENEFITS PAYABLE	52.48	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	864202506041812	06/05/25	P	100-22144-00-00000	LIFE INS PAYABLE	419.38	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	864202506041812	06/05/25	P	500-22144-00-00000	LIFE INS PAYABLE	3.53	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	864202506041812	06/05/25	P	550-22144-00-00000	LIFE INS PAYABLE	1.47	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	865202506041812	06/05/25	P	100-22144-00-00000	LIFE INS PAYABLE	445.29	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	865202506041812	06/05/25	P	500-22144-00-00000	LIFE INS PAYABLE	32.42	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	865202506041812	06/05/25	P	550-22144-00-00000	LIFE INS PAYABLE	13.00	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	866202506041812	06/05/25	P	100-22144-00-00000	LIFE INS PAYABLE	411.70	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	866202506041812	06/05/25	P	500-22144-00-00000	LIFE INS PAYABLE	32.64	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	866202506041812	06/05/25	P	550-22144-00-00000	LIFE INS PAYABLE	21.34	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	648202506171813	06/18/25	P	100-51078-13-00000	INSURANCE	16.29	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	648202506171813	06/18/25	P	100-51078-14-00000	INSURANCE	32.58	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	648202506171813	06/18/25	P	100-51078-20-00000	INSURANCE	32.58	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	648202506171813	06/18/25	P	100-51078-21-00000	INSURANCE	16.29	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	648202506171813	06/18/25	P	100-51078-30-00000	INSURANCE	179.19	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	648202506171813	06/18/25	P	100-51078-32-00000	INSURANCE	260.64	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	648202506171813	06/18/25	P	100-51078-40-00000	INSURANCE	71.49	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	648202506171813	06/18/25	P	100-51078-53-00000	INSURANCE	16.29	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	648202506171813	06/18/25	P	100-51078-16-00000	INSURANCE	16.29	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	648202506171813	06/18/25	P	100-51078-62-00000	INSURANCE	16.29	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	648202506171813	06/18/25	P	100-51078-60-00000	INSURANCE	32.58	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	648202506171813	06/18/25	P	500-51078-22-00000	INSURANCE	48.87	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	648202506171813	06/18/25	P	500-51078-41-00000	INSURANCE	42.54	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	648202506171813	06/18/25	P	500-51078-42-00000	INSURANCE	16.29	134494	06/24/25

Vendor No.	Vendor Name	Invoice Number	Invoice Date	Invoice Status	Account Number	Account Description	Amount	Check Number	Check Date
4180	MUTUAL OF OMAHA INSURANCE COMP	648202506171813	06/18/25	P	550-51078-46-00000	INSURANCE	16.29	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	649202506171813	06/18/25	P	100-22149-00-00000	DENTAL PAYABLE	98.82	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	649202506171813	06/18/25	P	100-51078-30-00000	INSURANCE	35.22	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	649202506171813	06/18/25	P	100-51078-32-00000	INSURANCE	70.44	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	649202506171813	06/18/25	P	500-22149-00-00000	DENTAL PAYABLE	32.94	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	649202506171813	06/18/25	P	500-51078-41-00000	INSURANCE	17.61	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	649202506171813	06/18/25	P	500-51078-42-00000	INSURANCE	17.61	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	650202506171813	06/18/25	P	100-22149-00-00000	DENTAL PAYABLE	340.34	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	650202506171813	06/18/25	P	100-51078-10-00000	INSURANCE	17.06	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	650202506171813	06/18/25	P	100-51078-12-00000	INSURANCE	17.06	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	650202506171813	06/18/25	P	100-51078-21-00000	INSURANCE	17.06	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	650202506171813	06/18/25	P	100-51078-30-00000	INSURANCE	17.06	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	650202506171813	06/18/25	P	100-51078-32-00000	INSURANCE	153.54	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	650202506171813	06/18/25	P	100-51078-60-00000	INSURANCE	17.06	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	650202506171813	06/18/25	P	500-22149-00-00000	DENTAL PAYABLE	48.62	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	650202506171813	06/18/25	P	500-51078-41-00000	INSURANCE	34.12	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	650202506171813	06/18/25	P	550-22149-00-00000	DENTAL PAYABLE	24.31	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	650202506171813	06/18/25	P	550-51078-46-00000	INSURANCE	17.06	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	651202506171813	06/18/25	P	100-22149-00-00000	DENTAL PAYABLE	526.35	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	651202506171813	06/18/25	P	100-51078-10-00000	INSURANCE	16.27	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	651202506171813	06/18/25	P	100-51078-30-00000	INSURANCE	113.89	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	651202506171813	06/18/25	P	100-51078-32-00000	INSURANCE	32.54	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	651202506171813	06/18/25	P	100-51078-40-00000	INSURANCE	16.27	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	651202506171813	06/18/25	P	500-22149-00-00000	DENTAL PAYABLE	47.85	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	651202506171813	06/18/25	P	500-51078-22-00000	INSURANCE	16.27	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	652202506171813	06/18/25	P	100-22131-00-00000	VISION PAYABLE	106.60	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	652202506171813	06/18/25	P	500-22131-00-00000	VISION PAYABLE	20.54	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	653202506171813	06/18/25	P	100-22131-00-00000	VISION PAYABLE	33.00	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	653202506171813	06/18/25	P	500-22131-00-00000	VISION PAYABLE	5.50	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	654202506171813	06/18/25	P	100-22131-00-00000	VISION PAYABLE	69.84	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	654202506171813	06/18/25	P	500-22131-00-00000	VISION PAYABLE	5.82	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	654202506171813	06/18/25	P	550-22131-00-00000	VISION PAYABLE	5.82	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	655202506171813	06/18/25	P	100-22131-00-00000	VISION PAYABLE	113.36	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	655202506171813	06/18/25	P	500-22131-00-00000	VISION PAYABLE	8.72	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	810202506171813	06/18/25	P	100-22146-00-00000	DISCOVERY BENEFITS PAYABLE	435.80	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	810202506171813	06/18/25	P	500-22153-00-00000	AMERICAN FIDELITY PAYABLE	49.90	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	810202506171813	06/18/25	P	550-22153-00-00000	AMERICAN FIDELITY PAYABLE	4.45	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	811202506171813	06/18/25	P	100-22146-00-00000	DISCOVERY BENEFITS PAYABLE	128.53	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	811202506171813	06/18/25	P	500-22153-00-00000	AMERICAN FIDELITY PAYABLE	24.59	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	811202506171813	06/18/25	P	550-22153-00-00000	AMERICAN FIDELITY PAYABLE	4.64	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	812202506171813	06/18/25	P	100-22146-00-00000	DISCOVERY BENEFITS PAYABLE	32.08	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	813202506171813	06/18/25	P	100-22146-00-00000	DISCOVERY BENEFITS PAYABLE	108.99	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	813202506171813	06/18/25	P	550-22153-00-00000	AMERICAN FIDELITY PAYABLE	12.11	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	814202506171813	06/18/25	P	100-22146-00-00000	DISCOVERY BENEFITS PAYABLE	95.04	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	815202506171813	06/18/25	P	100-22146-00-00000	DISCOVERY BENEFITS PAYABLE	95.10	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	815202506171813	06/18/25	P	500-22153-00-00000	AMERICAN FIDELITY PAYABLE	28.53	134494	06/24/25

Vendor No.	Vendor Name	Invoice Number	Invoice Date	Invoice Status	Account Number	Account Description	Amount	Check Number	Check Date
4180	MUTUAL OF OMAHA INSURANCE COMP	816202506171813	06/18/25	P	100-22146-00-00000	DISCOVERY BENEFITS PAYABLE	43.72	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	817202506171813	06/18/25	P	100-22146-00-00000	DISCOVERY BENEFITS PAYABLE	91.84	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	818202506171813	06/18/25	P	100-22146-00-00000	DISCOVERY BENEFITS PAYABLE	52.48	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	862202506171813	06/18/25	P	100-51078-10-00000	INSURANCE	9.60	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	862202506171813	06/18/25	P	100-51078-12-00000	INSURANCE	3.20	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	862202506171813	06/18/25	P	100-51078-13-00000	INSURANCE	6.40	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	862202506171813	06/18/25	P	100-51078-14-00000	INSURANCE	6.40	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	862202506171813	06/18/25	P	100-51078-20-00000	INSURANCE	6.40	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	862202506171813	06/18/25	P	100-51078-21-00000	INSURANCE	6.40	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	862202506171813	06/18/25	P	100-51078-30-00000	INSURANCE	70.40	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	862202506171813	06/18/25	P	100-51078-32-00000	INSURANCE	108.80	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	862202506171813	06/18/25	P	100-51078-40-00000	INSURANCE	23.64	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	862202506171813	06/18/25	P	100-51078-53-00000	INSURANCE	6.40	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	862202506171813	06/18/25	P	100-51078-16-00000	INSURANCE	3.20	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	862202506171813	06/18/25	P	100-51078-62-00000	INSURANCE	3.20	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	862202506171813	06/18/25	P	100-51078-60-00000	INSURANCE	12.80	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	862202506171813	06/18/25	P	500-51078-22-00000	INSURANCE	9.60	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	862202506171813	06/18/25	P	500-51078-41-00000	INSURANCE	17.96	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	862202506171813	06/18/25	P	500-51078-42-00000	INSURANCE	6.40	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	862202506171813	06/18/25	P	550-51078-46-00000	INSURANCE	12.80	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	863202506171813	06/18/25	P	100-51078-10-00000	INSURANCE	3.42	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	863202506171813	06/18/25	P	100-51078-12-00000	INSURANCE	1.14	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	863202506171813	06/18/25	P	100-51078-13-00000	INSURANCE	1.14	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	863202506171813	06/18/25	P	100-51078-14-00000	INSURANCE	1.14	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	863202506171813	06/18/25	P	100-51078-21-00000	INSURANCE	1.14	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	863202506171813	06/18/25	P	100-51078-30-00000	INSURANCE	14.82	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	863202506171813	06/18/25	P	100-51078-32-00000	INSURANCE	20.52	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	863202506171813	06/18/25	P	100-51078-40-00000	INSURANCE	5.35	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	863202506171813	06/18/25	P	100-51078-53-00000	INSURANCE	1.14	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	863202506171813	06/18/25	P	100-51078-60-00000	INSURANCE	1.14	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	863202506171813	06/18/25	P	500-51078-22-00000	INSURANCE	1.14	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	863202506171813	06/18/25	P	500-51078-41-00000	INSURANCE	3.77	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	863202506171813	06/18/25	P	500-51078-42-00000	INSURANCE	2.28	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	863202506171813	06/18/25	P	550-51078-46-00000	INSURANCE	2.28	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	864202506171813	06/18/25	P	100-22144-00-00000	LIFE INS PAYABLE	419.38	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	864202506171813	06/18/25	P	500-22144-00-00000	LIFE INS PAYABLE	3.53	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	864202506171813	06/18/25	P	550-22144-00-00000	LIFE INS PAYABLE	1.47	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	865202506171813	06/18/25	P	100-22144-00-00000	LIFE INS PAYABLE	445.29	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	865202506171813	06/18/25	P	500-22144-00-00000	LIFE INS PAYABLE	31.28	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	865202506171813	06/18/25	P	550-22144-00-00000	LIFE INS PAYABLE	14.14	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	866202506171813	06/18/25	P	100-22144-00-00000	LIFE INS PAYABLE	411.70	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	866202506171813	06/18/25	P	500-22144-00-00000	LIFE INS PAYABLE	32.64	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	866202506171813	06/18/25	P	550-22144-00-00000	LIFE INS PAYABLE	21.34	134494	06/24/25
4180	MUTUAL OF OMAHA INSURANCE COMP	06.2025 ADJ INV	06/24/25	P	100-22142-00-00000	MEDICAL PAYABLE	737.36	134494	06/24/25
						TOTAL FOR CHECK #134494	12,251.61		

Vendor No.	Vendor Name	Invoice Number	Invoice Date	Invoice Status	Account Number	Account Description	Amount	Check Number	Check Date
100258	Jovan Praitt	70625	06/26/25	V	100-53336-16-00000	SPECIAL EVENTS	1,250.00	134495	06/27/25
						TOTAL FOR CHECK #134495	1,250.00		
4127	LEVEL ONE PAVING, INC.	25-082-F	06/06/25	P	100-53218-40-00000	R&M SIGNS & MARKINGS	19,250.00	134496	06/27/25
						TOTAL FOR CHECK #134496	19,250.00		
100257	Miracle Foster	2	06/25/25	P	100-53336-16-00000	SPECIAL EVENTS	2,300.00	134497	06/27/25
						TOTAL FOR CHECK #134497	2,300.00		
4233	COMMUNITY WASTE DISPOSAL L.P.	1690501	05/31/25	P	100-53115-40-00000	SANITATION SERVICES	97,647.51	134498	06/27/25
Totals	for Check: 134498					TOTAL FOR CHECK #134498	97,647.51		
1822	COMPTRROLLER OF PUBLIC ACCOUNTS	20250620	06/20/25	P	100-20003-00-00000	SALES TAX (GARBAGE) PAYABLE	8,988.30	134499	06/27/25
1822	COMPTRROLLER OF PUBLIC ACCOUNTS	20250620	06/20/25	P	100-44101-00-00000	SALES TAX	(45.01)	134499	06/27/25
1822	COMPTRROLLER OF PUBLIC ACCOUNTS	20250620	06/20/25	P	100-11200-00-00000	A/R GARBAGE	13.77	134499	06/27/25
						TOTAL FOR CHECK #134499	8,957.06		
3151	CORE & MAIN LP	W225620	05/23/25	P	500-53204-41-00000	R&M WATER SYSTEM	3,996.65	134500	06/27/25
						TOTAL FOR CHECK #134500	3,996.65		
1	CULPEPPER, ROBERT OR TAMMY	U0090004930002A	06/27/25	P	500-20000-00-00000	ACCOUNTS PAYABLE	72.21	134501	06/27/25
						TOTAL FOR CHECK #134501	72.21		
1860	DALLAS WATER UTILITIES	50303116519	06/12/25	P	500-53044-41-00000	CITY WATER PURCHASES	163,338.90	134502	06/27/25
						TOTAL FOR CHECK #134502	163,338.90		
4152	DEDICATED CONTROLS LLC	14264	06/12/25	P	500-53200-41-00000	R & M STRUCTURES	3,320.00	134503	06/27/25
						TOTAL FOR CHECK #134503	3,320.00		
4173	DELL INC.	10818403359	06/05/25	P	200-53022-21-00000	ANNUAL SOFTWARE MAINTENANCE	3,635.27	134504	06/27/25
						TOTAL FOR CHECK #134504	3,635.27		
4123	DIKITA ENTERPRISES, INC.	32,702.13	04/04/25	P	403-55085-99-DART1	ROAD IMPROVEMENT EXPENDITURES	3,861.00	134505	06/27/25
						TOTAL FOR CHECK #134505	3,861.00		
100255	Door Services Corporation	340231857	04/25/25	P	410-55001-99-ADACD	CAPITAL EXPENDITURES	38,754.28	134506	06/27/25
						TOTAL FOR CHECK #134506	38,754.28		
100193	EQUIPMENTSHARE.COM, INC.	5343460	06/09/25	P	100-53201-62-00000	R & M SMALL EQUIPMENT	387.92	134507	06/27/25
						TOTAL FOR CHECK #134507	387.92		
1	HASAN, NAZMYEH	U0230000320003A	06/27/25	P	500-20000-00-00000	ACCOUNTS PAYABLE	50.84	134508	06/27/25
						TOTAL FOR CHECK #134508	50.84		
1	HERNANDEZ, NAIN & GUSTAVO	U0070003890020A	06/27/25	P	500-20000-00-00000	ACCOUNTS PAYABLE	109.62	134509	06/27/25
						TOTAL FOR CHECK #134509	109.62		

Vendor No.	Vendor Name	Invoice Number	Invoice Date	Invoice Status	Account Number	Account Description	Amount	Check Number	Check Date
1983	HILCO ELECTRIC	JUNE 2025	06/11/25	P	100-53313-40-00000	ELECTRICITY	229.20	134510	06/27/25
1983	HILCO ELECTRIC	JUNE 2025	06/11/25	P	100-53313-40-00000	ELECTRICITY	611.90	134510	06/27/25
1983	HILCO ELECTRIC	JUNE 2025	06/11/25	P	100-53313-40-00000	ELECTRICITY	5,858.91	134510	06/27/25
1983	HILCO ELECTRIC	JUNE 2025	06/11/25	P	100-53313-40-00000	ELECTRICITY	1,620.90	134510	06/27/25
1983	HILCO ELECTRIC	JUNE 2025	06/11/25	P	500-53313-41-00000	ELECTRICITY	1,439.90	134510	06/27/25
1983	HILCO ELECTRIC	JUNE 2025	06/11/25	P	100-53313-60-00000	ELECTRICITY	214.47	134510	06/27/25
						TOTAL FOR CHECK #134510	9,975.28		
1649	KEITH'S ACE HARDWARE	158418	05/20/25	P	550-53201-46-00000	R & M SMALL EQUIPMENT	36.00	134511	06/27/25
						TOTAL FOR CHECK #134511	36.00		
1	LABOSTRIE, JEROME & ETHEL	U0270001100001A	06/27/25	P	500-20000-00-00000	ACCOUNTS PAYABLE	5.24	134512	06/27/25
						TOTAL FOR CHECK #134512	5.24		
1	LADWIG, LOUISE	U0110000018009A	06/27/25	P	500-20000-00-00000	ACCOUNTS PAYABLE	147.21	134513	06/27/25
						TOTAL FOR CHECK #134513	147.21		
100227	Matrix Imaging Solutions, LLC	DP2502720	06/13/25	P	100-53555-16-00000	NEWSLETTER	67.38	134514	06/27/25
100227	Matrix Imaging Solutions, LLC	DP2502720	06/13/25	P	500-53057-22-00000	WATER BILL PROCESSING/POSTAGE	6,790.84	134514	06/27/25
						TOTAL FOR CHECK #134514	6,858.22		
1	MANAGEMENT COMPANY, CENTURY 21	U0090001570005A	06/27/25	P	500-20000-00-00000	ACCOUNTS PAYABLE	87.33	134515	06/27/25
						TOTAL FOR CHECK #134515	87.33		
1	MANAGEMENT INC, MYND	U0030002610008A	06/27/25	P	500-20000-00-00000	ACCOUNTS PAYABLE	168.90	134516	06/27/25
						TOTAL FOR CHECK #134516	168.90		
2185	MASSEY'S TIRES & WHEELS	5093-11	06/09/25	P	100-53202-32-00000	R & M AUTO/TRUCK	20.00	134517	06/27/25
2185	MASSEY'S TIRES & WHEELS	5093-12	06/09/25	P	500-53202-41-00000	R & M AUTO/TRUCK	305.00	134517	06/27/25
2185	MASSEY'S TIRES & WHEELS	5093-18	06/12/25	P	500-53202-42-00000	R & M AUTO/TRUCK	665.00	134517	06/27/25
2185	MASSEY'S TIRES & WHEELS	5093-16	06/11/25	P	100-53201-62-00000	R & M SMALL EQUIPMENT	68.00	134517	06/27/25
						TOTAL FOR CHECK #134517	1,058.00		
2862	METRO FIRE APPARATUS SPECIALIS	21922	06/09/25	P	100-51359-30-00000	FIRE EQUIPMENT & TOOLS	631.00	134518	06/27/25
						TOTAL FOR CHECK #134518	631.00		
1	MOORE, KEITH	U0030004120010A	06/27/25	P	500-20000-00-00000	ACCOUNTS PAYABLE	70.74	134519	06/27/25
						TOTAL FOR CHECK #134519	70.74		
3920	NEWGEN STRATEGIES & SOLUTIONS,	21533	06/16/25	P	500-53013-43-00000	OTHER PROFESSIONAL SERVICES	3,850.00	134520	06/27/25
						TOTAL FOR CHECK #134520	3,850.00		
1	NGO, MINH	U0020013200010A	06/27/25	P	500-20000-00-00000	ACCOUNTS PAYABLE	19.47	134521	06/27/25
						TOTAL FOR CHECK #134521	19.47		

Vendor No.	Vendor Name	Invoice Number	Invoice Date	Invoice Status	Account Number	Account Description	Amount	Check Number	Check Date
3247	NICHOLS, JACKSON, DILLARD, HAG	59880 / 59881	06/14/25	P	100-53002-01-00000	LEGAL SERVICES	8,009.35	134522	06/27/25
3247	NICHOLS, JACKSON, DILLARD, HAG	59880 / 59881	06/14/25	P	100-53019-21-00000	COURT PROSECUTOR	576.60	134522	06/27/25
						TOTAL FOR CHECK #134522	8,585.95		
2243	Northern Tool	096785CC	05/02/25	P	100-51310-40-00000	OTHER SMALL EQUIPMENT	2,931.98	134523	06/27/25
						TOTAL FOR CHECK #134523	2,931.98		
1	OPENDOOR LABS INC	U0080004070002A	06/27/25	P	500-20000-00-00000	ACCOUNTS PAYABLE	87.22	134524	06/27/25
						TOTAL FOR CHECK #134524	87.22		
1	OWNER LLC, VCP 30 DUPLEX	U0090004120015A	06/27/25	P	500-20000-00-00000	ACCOUNTS PAYABLE	20.74	134525	06/27/25
						TOTAL FOR CHECK #134525	20.74		
100119	QKB INC	INV0558	06/23/25	P	100-53216-40-00000	R & M STREETS	21,900.00	134526	06/27/25
						TOTAL FOR CHECK #134526	21,900.00		
1	RENEWAL LLC, MAIN STREET	U0080003360005A	06/27/25	P	500-20000-00-00000	ACCOUNTS PAYABLE	96.81	134527	06/27/25
						TOTAL FOR CHECK #134527	96.81		
1	RODRIGUEZ, KELLI	U0190002430003A	06/27/25	P	500-20000-00-00000	ACCOUNTS PAYABLE	5.24	134528	06/27/25
						TOTAL FOR CHECK #134528	5.24		
1	SFR JV-1 2020-1 BORROWER LLC	U0060003230015A	06/27/25	P	500-20000-00-00000	ACCOUNTS PAYABLE	4.96	134529	06/27/25
						TOTAL FOR CHECK #134529	4.96		
1	SHEPHERD, ANGELA	U0070004640012A	06/27/25	P	500-20000-00-00000	ACCOUNTS PAYABLE	18.43	134530	06/27/25
						TOTAL FOR CHECK #134530	18.43		
1	STOUTIMORE, COURTNEY & NATH	U0150000420004A	06/27/25	P	500-20000-00-00000	ACCOUNTS PAYABLE	71.87	134531	06/27/25
						TOTAL FOR CHECK #134531	71.87		
100192	TK ELEVATOR CORPORATION	5002884143	05/16/25	P	100-53200-40-00000	R & M STRUCTURES	1,427.50	134532	06/27/25
						TOTAL FOR CHECK #134532	1,427.50		
2243	TreviPay	FD8DC72B	06/10/25	P	100-53528-20-00000	LATE PAYMENT PENALTIES	43.98	134533	06/27/25
						TOTAL FOR CHECK #134533	43.98		
2458	TRINITY RIVER AUTHORITY	BH 1892	06/10/25	P	500-53045-42-00000	T.R.A. SEWAGE SYSTEM	104,722.00	134534	06/27/25
2458	TRINITY RIVER AUTHORITY	BH 1892	06/10/25	P	500-53744-42-00000	TRA DEBT SERVICE PAYMENTS	316,788.00	134534	06/27/25
						TOTAL FOR CHECK #134534	421,510.00		
1	TUAN, TRAN	U0180001660003A	06/27/25	P	500-20000-00-00000	ACCOUNTS PAYABLE	97.03	134535	06/27/25
Totals	for Check: 134535					TOTAL FOR CHECK #134535	97.03		
4242	VCA ANIMAL HOSPITALS, INC.	57708690363	06/13/25	P	100-53519-32-00000	ANIMAL SERVICES EXPENSE	131.40	134536	06/27/25
Totals	for Check: 134536					TOTAL FOR CHECK #134536	131.40		

Vendor No.	Vendor Name	Invoice Number	Invoice Date	Invoice Status	Account Number	Account Description	Amount	Check Number	Check Date
3134	WEX BANK	105104960	05/31/25	P	100-51325-40-00000	GASOLINE & FUELS	90.53	134537	06/27/25
3134	WEX BANK	105104960	05/31/25	P	100-51325-40-00000	GASOLINE & FUELS	2,624.43	134537	06/27/25
3134	WEX BANK	105104960	05/31/25	P	100-51325-40-00000	GASOLINE & FUELS	5,840.43	134537	06/27/25
3134	WEX BANK	105104960	05/31/25	P	100-51325-40-00000	GASOLINE & FUELS	953.67	134537	06/27/25
3134	WEX BANK	105104960	05/31/25	P	100-51325-40-00000	GASOLINE & FUELS	133.34	134537	06/27/25
3134	WEX BANK	105104960	05/31/25	P	500-51325-43-00000	GASOLINE & FUELS	427.63	134537	06/27/25
3134	WEX BANK	105104960	05/31/25	P	500-51325-42-00000	GASOLINE & FUELS	553.93	134537	06/27/25
3134	WEX BANK	105104960	05/31/25	P	500-51325-41-00000	GASOLINE & FUELS	956.91	134537	06/27/25
3134	WEX BANK	105104960	05/31/25	P	550-51325-46-00000	GASOLINE & FUELS	935.95	134537	06/27/25
3134	WEX BANK	105104960	05/31/25	P	100-53202-30-00000	R & M AUTO/TRUCK	45.78	134537	06/27/25
3134	WEX BANK	105104960	05/31/25	P	100-53202-32-00000	R & M AUTO/TRUCK	26.97	134537	06/27/25
						TOTAL FOR CHECK #134537	12,589.57		
1	ZUNIGA JAIRALA, GABRIELLA	U0080020030001A	06/27/25	P	500-20000-00-00000	ACCOUNTS PAYABLE	29.69	134538	06/27/25
						TOTAL FOR CHECK #134538	29.69		
4138	AIRESPRING INC.	198005898	06/16/25	P	100-53308-14-00000	TELECOMMUNICATIONS	1,849.66	134539	06/30/25
4138	AIRESPRING INC.	198005898	06/16/25	P	100-53308-14-00000	TELECOMMUNICATIONS	729.42	134539	06/30/25
4138	AIRESPRING INC.	198005898	06/16/25	P	100-53308-14-00000	TELECOMMUNICATIONS	2,072.53	134539	06/30/25
4138	AIRESPRING INC.	198005898	06/16/25	P	100-53308-14-00000	TELECOMMUNICATIONS	775.11	134539	06/30/25
4138	AIRESPRING INC.	198005898	06/16/25	P	100-53308-14-00000	TELECOMMUNICATIONS	1,616.04	134539	06/30/25
						TOTAL FOR CHECK #134539	7,042.76		
1	Amber Harrison	AH-06.29.25	06/29/25	P	100-22300-00-00000	CUSTOMER DEPOSITS PAYABLE	250.00	134540	06/30/25
						TOTAL FOR CHECK #134540	250.00		
1	Arizbeth Rodriguez	AR-06.29.25	06/29/25	P	100-22300-00-00000	CUSTOMER DEPOSITS PAYABLE	250.00	134541	06/30/25
						TOTAL FOR CHECK #134541	250.00		
3728	ARLENE D. HONZA	2642	06/27/25	P	100-53328-01-00000	CONF, TRAIN, & TRVL - PLACE 5	57.00	134542	06/30/25
3728	ARLENE D. HONZA	2639	06/12/25	P	100-53301-01-00000	CONF, TRAIN, & TRVL - MAYOR	75.75	134542	06/30/25
						TOTAL FOR CHECK #134542	132.75		
2771	AT&T	6.11-214A350003	06/28/25	P	100-53342-32-00000	E-911 SERVICES	239.32	134543	06/30/25
2771	AT&T	6.11-214A350003	06/28/25	P	100-53308-14-00000	TELECOMMUNICATIONS	789.20	134543	06/30/25
2771	AT&T	6.25-9722307767	06/28/25	P	100-53308-14-00000	TELECOMMUNICATIONS	559.13	134543	06/30/25
						TOTAL FOR CHECK #134543	1,587.65		
1720	ATMOS ENERGY	06.13.25	06/27/25	P	100-53321-40-00000	NATURAL GAS	173.50	134544	06/30/25
1720	ATMOS ENERGY	06.13.25	06/27/25	P	100-53321-40-00000	NATURAL GAS	169.66	134544	06/30/25
1720	ATMOS ENERGY	06.13.25	06/27/25	P	100-53321-40-00000	NATURAL GAS	42.54	134544	06/30/25
1720	ATMOS ENERGY	06.13.25	06/27/25	P	100-53321-40-00000	NATURAL GAS	93.91	134544	06/30/25
1720	ATMOS ENERGY	06.13.25	06/27/25	P	100-53321-40-00000	NATURAL GAS	86.75	134544	06/30/25
						TOTAL FOR CHECK #134544	566.36		

Vendor No.	Vendor Name	Invoice Number	Invoice Date	Invoice Status	Account Number	Account Description	Amount	Check Number	Check Date
100185	BROWN, CLAMESHIA	5.2025INSTR.PAY	06/29/25	P	100-22145-00-00000	INSTRUCTOR PAYABLE	340.00	134545	06/30/25
						TOTAL FOR CHECK #134545	340.00		
1	Carla Tanner	CT-06.29.25	06/29/25	P	100-22300-00-00000	CUSTOMER DEPOSITS PAYABLE	250.00	134546	06/30/25
						TOTAL FOR CHECK #134546	250.00		
1	Cash	PETTY CASH	06/22/25	P	100-53307-21-00000	CONFERENCE, TRAINING, & TRAVEL	200.00	134547	06/30/25
						TOTAL FOR CHECK #134547	200.00		
1	Gloria Greer	GG-06.29.25	06/29/25	P	100-22300-00-00000	CUSTOMER DEPOSITS PAYABLE	250.00	134548	06/30/25
						TOTAL FOR CHECK #134548	250.00		
1	Linda Gunter	LG-06.29.25	06/29/25	P	100-22300-00-00000	CUSTOMER DEPOSITS PAYABLE	150.00	134549	06/30/25
						TOTAL FOR CHECK #134549	150.00		
100227	Matrix Imaging Solutions, LLC	3P101512	06/29/25	P	100-53555-16-00000	NEWSLETTER	1,084.30	134550	06/30/25
						TOTAL FOR CHECK #134550	1,084.30		
1	Reginald Cook	RC-06.29.25	06/29/25	P	100-22300-00-00000	CUSTOMER DEPOSITS PAYABLE	250.00	134551	06/30/25
						TOTAL FOR CHECK #134551	250.00		
100155	STAR CATERING AND VENDING	8263115	06/29/25	P	100-53013-60-00000	OTHER PROFESSIONAL SERVICES	576.00	134552	06/30/25
						TOTAL FOR CHECK #134552	576.00		
2417	TML-IRP	4729-060125	06/01/25	P	100-53316-13-00000	FIRE & PROPERTY INSURANCE	403.99	134553	06/30/25
						TOTAL FOR CHECK #134553	403.99		
						GRAND TOTALS	1,374,932.66		

Check Number	Check Date	Vendor Name	Net Check Amount	Check Status	Check Type
		Cash Account: 999-10082-00 00000			
134383	06/02/25	STAR CATERING AND VENDING	720.00	0	Quick Check
134384	06/06/25	STAR CATERING AND VENDING	720.00	0	Quick Check
134385	06/06/25	ADT SECURITY SECURITY SERVICES	65.14	0	Regular
134386	06/06/25	AIR SUPPLY	80.92	0	Regular
134387	06/06/25	Atwood Distributing	75.98	0	Regular
134388	06/06/25	AT&T MOBILITY	4,035.46	0	Regular
134389	06/06/25	Baker, Marchelle	165.75	0	Regular
134390	06/06/25	Brandon Jackson	250.00	0	Regular
134391	06/06/25	BRITTON METER REPAIR	212.00	0	Regular
134392	06/06/25	CALLAWAY, CASS ROBERT	3,000.00	0	Regular
134393	06/06/25	CITY OF DESOTO	6,666.66	R	ACH
134394	06/06/25	Code-3 Safety&Fire Equipment	720.33	0	Regular
134395	06/06/25	COMMUNITY WASTE DISPOSAL L.P.	97,372.68	R	ACH
134396	06/06/25	CUSTOM PRODUCTS CORPORATION	1,157.92	0	Regular
134397	06/06/25	Dana McNutt	250.00	0	Regular
134398	06/06/25	DEDICATED CONTROLS LLC	350.00	0	Regular
134399	06/06/25	Door Services Corporation	490.72	0	Regular
134400	06/06/25	EGSW LLC	8,700.00	0	Regular
134401	06/06/25	FERGUSON US HOLDINGS, INC	2,490.16	R	EFTPS
134402	06/06/25	GALLS PARENT HOLDINGS, LLC	656.77	0	Regular
134403	06/06/25	GPS INSIGHT INC.	745.80	R	ACH
134404	06/06/25	Home Depot Credit Services	361.71	R	EFTPS
134405	06/06/25	IMPERATIVE INFORMATION GROUP,	923.75	0	Regular
134406	06/06/25	INSIGHT PUBLIC SECTOR	9,676.02	R	EFTPS
134407	06/06/25	INSIGHT PUBLIC SECTOR	2,418.36	0	Regular
134408	06/06/25	KEITH'S ACE HARDWARE	1,039.89	0	Regular
134409	06/06/25	Kimberly Holt	250.00	0	Regular
134410	06/06/25	Laquita Barnes	250.00	0	Regular
134411	06/06/25	MOTOROLA SOLUTIONS INC.	125,883.68	R	EFTPS
134412	06/06/25	NATIONAL ALL PRO QUICK LUBE	57.95	0	Regular
134413	06/06/25	O'REILLY AUTOMOTIVE, INC.	274.43	R	EFTPS
134414	06/06/25	PATILLO, BROWN & HILL, L.L.P.	8,000.00	R	EFTPS
134415	06/06/25	Plakisia Wright	250.00	0	Regular
134416	06/06/25	RASHEED, STACEY	245.70	0	Regular
134417	06/06/25	RED OAK CAR WASH	8.00	0	Regular
134418	06/06/25	RITA COOK	62.50	0	Regular
134419	06/06/25	STAR CATERING AND VENDING	756.00	0	Regular
134420	06/06/25	TELEFLEX LLC	665.00	0	Regular
134421	06/06/25	TIRE TECH CORPORATION	450.00	0	Regular
134422	06/06/25	Ulisa Jackson	250.00	0	Regular
134423	06/06/25	USA BLUEBOOK	229.95	0	Regular
134424	06/06/25	BELLE STUDIO, LLC	71.50	0	Regular
134425	06/06/25	MITCHELL, VALLERY	195.00	0	Regular
134426	06/16/25	BRITTON METER REPAIR	262.00	0	Regular

Check Number	Check Date	Vendor Name	Net Check Amount	Check Status	Check Type
134427	06/16/25	BSN SPORTS LLC	1,216.00	0	Regular
134428	06/16/25	DAHILL OFFICE TECHNOLOGY CORPO	1,229.25	R	EFTPS
134429	06/16/25	DAHILL OFFICE TECHNOLOGY CORPO	529.40	0	Regular
134430	06/16/25	EQUIPMENTSHARE.COM, INC.	891.66	0	Regular
134431	06/16/25	GRAINGER	230.87	0	Regular
134432	06/16/25	Home Depot Credit Services	436.47	R	EFTPS
134433	06/16/25	JAMES HARRIS	1,175.06	0	Regular
134434	06/16/25	MR. TREE SERVICE	1,900.00	0	Regular
134435	06/16/25	O'REILLY AUTOMOTIVE, INC.	48.95	R	EFTPS
134436	06/16/25	PUMP SOLUTIONS	1,750.00	0	Regular
134437	06/16/25	RANDY R. KELLY JR	906.98	0	Regular
134438	06/16/25	SUNBELT RENTALS	196.00	0	Regular
134439	06/16/25	TK ELEVATOR CORPORATION	675.00	0	Regular
134440	06/16/25	TRINITY RIVER AUTHORITY	497.88	R	EFTPS
134446	06/13/25	TEXAS MUNICIPAL	60,006.77	R	EFTPS
134474	06/24/25	TRAVIS BRUTON	250.00	0	Regular
134480	06/05/25	EXPERTPAY	3,258.00	R	EFTPS
134481	06/05/25	INTERNAL REVENUE SERVICE	71,986.58	R	EFTPS
134482	06/05/25	MISSIONSQUARE	2,097.47	R	EFTPS
134483	06/05/25	OPTUM BANK, INC.	1,106.17	R	EFTPS
134484	06/05/25	PO HOLDING LLC	1,490.53	R	EFTPS
134486	06/18/25	EXPERTPAY	3,268.50	R	EFTPS
134487	06/18/25	INTERNAL REVENUE SERVICE	68,639.22	R	EFTPS
134488	06/18/25	MISSIONSQUARE	2,065.03	R	EFTPS
134489	06/18/25	MUTUAL OF OMAHA INSURANCE COMP	.00	V	Regular
134490	06/18/25	MUTUAL OF OMAHA INSURANCE COMP	12,251.61	V	EFTPS
134491	06/18/25	OPTUM BANK, INC.	1,106.17	R	EFTPS
134492	06/18/25	PO HOLDING LLC	1,490.53	R	EFTPS
134493	06/24/25	MUTUAL OF OMAHA INSURANCE COMP	.00	V	Regular
134494	06/24/25	MUTUAL OF OMAHA INSURANCE COMP	12,251.61	R	EFTPS
134495	06/27/25	Jovan Praitt	1,250.00	V	Regular
134496	06/27/25	LEVEL ONE PAVING, INC.	19,250.00	0	Regular
134497	06/27/25	Miracle Foster	2,300.00	0	Regular
134498	06/27/25	COMMUNITY WASTE DISPOSAL L.P.	97,647.51	R	ACH
134499	06/27/25	COMPTROLLER OF PUBLIC ACCOUNTS	8,957.06	R	EFTPS
134500	06/27/25	CORE & MAIN LP	3,996.65	0	Regular
134501	06/27/25	CULPEPPER, ROBERT OR TAMMY	72.21	0	Regular
134502	06/27/25	DALLAS WATER UTILITIES	163,338.90	R	ACH
134503	06/27/25	DEDICATED CONTROLS LLC	3,320.00	0	Regular
134504	06/27/25	DELL INC.	3,635.27	R	Wire Transfer
134505	06/27/25	DIKITA ENTERPRISES, INC.	3,861.00	R	ACH
134506	06/27/25	Door Services Corporation	38,754.28	0	Regular
134507	06/27/25	EQUIPMENTSHARE.COM, INC.	387.92	0	Regular
134508	06/27/25	HASAN, NAZMYEH	50.84	0	Regular
134509	06/27/25	HERNANDEZ, NAIN & GUSTAVO	109.62	0	Regular

Check Number	Check Date	Vendor Name	Net Check Amount	Check Status	Check Type
134510	06/27/25	HILCO ELECTRIC	9,975.28	R	EFTPS
134511	06/27/25	KEITH'S ACE HARDWARE	36.00	0	Regular
134512	06/27/25	LABOSTRIE, JEROME & ETHEL	5.24	0	Regular
134513	06/27/25	LADWIG, LOUISE	147.21	0	Regular
134514	06/27/25	Matrix Imaging Solutions, LLC	6,858.22	0	Regular
134515	06/27/25	MANAGEMENT COMPANY, CENTURY 21	87.33	0	Regular
134516	06/27/25	MANAGEMENT INC, MYND	168.90	0	Regular
134517	06/27/25	MASSEY'S TIRES & WHEELS	1,058.00	0	Regular
134518	06/27/25	METRO FIRE APPARATUS SPECIALIS	631.00	0	Regular
134519	06/27/25	MOORE, KEITH	70.74	0	Regular
134520	06/27/25	NEWGEN STRATEGIES & SOLUTIONS,	3,850.00	0	Regular
134521	06/27/25	NGO, MINH	19.47	0	Regular
134522	06/27/25	NICHOLS, JACKSON, DILLARD, HAG	8,585.95	R	ACH
134523	06/27/25	Northern Tool	2,931.98	R	EFTPS
134524	06/27/25	OPENDOOR LABS INC	87.22	0	Regular
134525	06/27/25	OWNER LLC, VCP 30 DUPLEX	20.74	0	Regular
134526	06/27/25	QKB INC	21,900.00	R	ACH
134527	06/27/25	RENEWAL LLC, MAIN STREET	96.81	0	Regular
134528	06/27/25	RODRIGUEZ, KELLI	5.24	0	Regular
134529	06/27/25	SFR JV-1 2020-1 BORROWER LLC	4.96	0	Regular
134530	06/27/25	SHEPHERD, ANGELA	18.43	0	Regular
134531	06/27/25	STOUTIMORE, COURTNEY & NATH	71.87	0	Regular
134532	06/27/25	TK ELEVATOR CORPORATION	1,427.50	0	Regular
134533	06/27/25	TreviPay	43.98	R	EFTPS
134534	06/27/25	TRINITY RIVER AUTHORITY	421,510.00	R	EFTPS
134535	06/27/25	TUAN, TRAN	97.03	0	Regular
134536	06/27/25	VCA ANIMAL HOSPITALS, INC.	131.40	0	Regular
134537	06/27/25	WEX BANK	12,589.57	R	EFTPS
134538	06/27/25	ZUNIGA JAIRALA, GABRIELLA	29.69	0	Regular
134539	06/30/25	AIRESPRING INC.	7,042.76	R	EFTPS
134540	06/30/25	Amber Harrison	250.00	0	Regular
134541	06/30/25	Arizbeth Rodriguez	250.00	0	Regular
134542	06/30/25	ARLENE D. HONZA	132.75	0	Regular
134543	06/30/25	AT&T	1,587.65	0	Regular
134544	06/30/25	ATMOS ENERGY	566.36	R	EFTPS
134545	06/30/25	BROWN, CLAMESHIA	340.00	0	Regular
134546	06/30/25	Carla Tanner	250.00	0	Regular
134547	06/30/25	Cash	200.00	0	Regular
134548	06/30/25	Gloria Greer	250.00	0	Regular
134549	06/30/25	Linda Gunter	150.00	0	Regular
134550	06/30/25	Matrix Imaging Solutions, LLC	1,084.30	0	Regular
134551	06/30/25	Reginald Cook	250.00	0	Regular
134552	06/30/25	STAR CATERING AND VENDING	576.00	0	Regular
134553	06/30/25	TML-IRP	403.99	0	Regular

90	Checks total:	128,646.77
8	ACH total:	400,118.50
30	EFTPS total:	841,282.12
1	Wire transfer total:	3,635.27
0	Payment Manager total:	
129	GRAND TOTALS	1,373,682.66

CASH AND INVESTMENT REPORT
As of June 30, 2025

JUNE 2025 CASH AND INVESTMENT REPORT

POOLED CASH RECONCILIATION	
Fund	Balance In Pooled Cash Per General Ledger
100 General Fund	\$ 14,915,737.22
200 Court Technology	\$ 18,875.78
201 Court Security	\$ 39,596.26
202 Truancy Prevention	\$ 24,724.72
203 Local Court Tech Fund	\$ 4,526.38
204 Local Muni Jury Fund	\$ 503.07
205 911 Wireless	\$ 309,366.05
214 State Seizure	\$ -
215 Street Impact	\$ 1,354,689.56
216 Keep Glenn Heights Beautiful	\$ 267.16
230 Park Fees	\$ 933,025.18
*250 Operating Grants	\$ (415,072.25) <i>*waiting on BRIC reimbursement</i>
251 ARPA Fund	\$ 438,435.32
260 Unemployment Comp	\$ 7,703.82
300 Debt Service	\$ 256,541.81
402 2015 CO Bond	\$ 875.34
**403 2016 GO Bond	\$ (99,516.90)
406 Vehicle Replacement	\$ 93,741.79
410 GF Capital Projects	\$ 4,994,465.05
412 Veterans Memorial	\$ 94.26
423 P.E.G. Fund	\$ 12,101.91
500 Water & Sewer	\$ 2,750,909.72
505 Capital Project -Meters	\$ (162,588.58)
515 W/S Impact	\$ 3,623,486.69
550 Drainage	\$ 881,060.69
700 - GFAAG/GLTDAG	\$ (359,426.56)
TOTAL POOLED CASH - GL	\$ 29,624,123.49
**Need to reimburse Pooled cash for expenses	
Balance per Prosperity Statement	\$ 3,512,863.99
Balance per TexStar Statement	\$ 26,463,278.08
TOTAL POOLED CASH	\$ 29,976,142.07
Reconciling Items:	\$ 352,018.58
Add: Deposits In-Transit	
Less: Outstanding Checks	
Less: Outstanding Other	
Adjusting Items	
Adjusted GL Balance	\$ 29,976,142.07
Unreconciled Difference	\$ (352,018.58)

OTHER PROSPERITY BANK ACCOUNTS RECONCILIATION							
Bank Account	Beginning GL Balance	Beginning Balance Per Bank Statement	Add: Deposits In Transit	Less: Outstanding Checks	Other Reconciling Items	Ending GL Balance	Unreconciled Difference
Cash Benefits Trust	\$ 6,598.35	\$ 6,598.35	\$ -	\$ -	\$ 5.42	\$ 6,603.77	\$ -
Seizure Hold	\$ 5,614.60	\$ 5,614.60	\$ -	\$ -	\$ 5.08	\$ 5,619.68	\$ -
Customer W/S Deposits	\$ 461,081.32	\$ 461,081.32	\$ -	\$ -	\$ 378.97	\$ 461,460.29	\$ -
Park Development Fees	\$ 219,228.55	\$ 219,228.55	\$ -	\$ -	\$ 450.47	\$ 219,679.02	\$ -
W/S Impact Fees	\$ 425,281.22	\$ 425,281.22	\$ -	\$ -	\$ 1,136.03	\$ 426,417.25	\$ -
Street Impact	\$ 264,055.06	\$ 264,055.06	\$ -	\$ -	\$ 217.03	\$ 264,272.09	\$ -
PEG Fund	\$ 61,564.89	\$ 61,564.89	\$ -	\$ -	\$ 50.60	\$ 61,615.49	\$ -
Chamber of Commerce	\$ 17,423.69	\$ 17,423.69	\$ -	\$ -	\$ 14.32	\$ 17,438.01	\$ -
Veterans Memorial	\$ 2,903.85	\$ 2,903.85	\$ -	\$ -	\$ 2.39	\$ 2,906.24	\$ -
TOTAL OTHER PROSP	\$ 1,463,751.53					\$ 1,466,011.84	

TOTAL CASH/INVESTMENT BAL	
FUND	CASH BALANCE
100 General Fund	\$ 14,915,737.22
200 Court Technology	\$ 18,875.78
201 Court Security	\$ 39,596.26
202 Truancy Prevention	\$ 24,724.72
203 Local Court Tech Fund	\$ 4,526.38
204 Local Muni Jury Fund	\$ 503.07
205 911 Wireless	\$ 309,366.05
213 Federal Seizure	\$ 3,420.06
214 State Seizure	\$ 11,935.15
215 Street Impact Fees	\$ 1,618,961.65
216 KGHB	\$ 267.16
230 Park Fees	\$ 1,152,704.20
250 Operating Grants	\$ (415,072.25)
251 ARPA	\$ 438,435.32
260 Unemployment Comp	\$ 7,703.82
300 Debt Service	\$ 256,541.81
403 2016 GO Bond	\$ 2,996,826.85
406 Vehicle Replacement	\$ 93,741.79
410 General Fund Capital Projects	\$ 4,994,465.05
412 Veterans Memorial	\$ 3,000.50
500 W/S Fund	\$ 3,212,370.01
500 SIB Account	\$ -
505 Capital Project -Meters	\$ (162,588.58)
515 W/S Impact Fees	\$ 4,049,903.94
550 Drainage	\$ 881,060.69
Benefits Trust - Cash	\$ 6,603.77
Seizure Hold - Cash	\$ 5,619.68
Chamber of Commerce	\$ 17,438.01
\$ 34,486,668.11	

Bank Account Totals:	\$ 34,553,852.87
	\$ (67,184.76)
	\$ 352,018.58
	\$ 284,833.82

BANK SECURITY PROSPERITY (PLEGGED COLLATERAL)	
POOLED CASH ACCOUNT	\$ 3,512,863.99
BENEFITS TRUST ACCOUNT	\$ 6,603.77
STREET IMPACT FEES (4593)	\$ 264,272.09
W/WWW IMPACT FEES (7207)	\$ 426,417.25
SEIZURE HOLD	\$ 5,619.68
VETERAN'S MEMORIAL	\$ 2,906.24
CASH PARK FEES (2949)	\$ 219,679.02
WATER CUSTOMER DEPOSITS	\$ 461,460.29
CHAMBER OF COMMERCE	\$ 17,438.01
PEG FUND	\$ 61,615.49
TOTAL BANK BALANCES	\$ 4,978,875.83
LESS FDIC INSURED	\$ (250,000.00)
COLLATERALIZED TOTAL:	\$ 4,728,875.83
COLLATERALIZED TOTAL 102%	\$ 4,823,453.35
COLLATERAL PER BANK	\$ 10,427,320.47

APR %	
Prosperity Bank	1.0000%
TexStar	4.2954%

TEXSTAR RECONCILIATION			
Fund	GL Balance - Texstar	Add: Interest/Other	Balance Per Bank Statement
Fed Seizure	\$ 3,420.06		\$ 3,420.06
State Seizure	\$ 11,935.15		\$ 11,935.15
SIB Loan	\$ -		\$ -
2016 GO Bond	\$ 3,096,343.75		\$ 3,096,343.75
TOTAL NON-POOLED TEXSTAR	\$ 3,111,698.96	\$ -	\$ 3,111,698.96
CHECK			

Closed SIB Loan account and transferred balance to the Water Fund

CITY OF GLENN HEIGHTS
JUNE 2025 OVERTIME REPORT
PAYROLLS FOR 06/05/25 & 6/19/25

PAY PERIODS 05/19/2025 - 06/01/25 & 06/02/25 - 06/15/25

FIRE						TOTAL HOURS	TOTAL AMOUNT
EMP NO#	POSITION	1st PP	AMOUNT	2nd PP	AMOUNT		
01-XXXX	PARAMEDIC	40.00	1,132.80	65.00	1,840.80	105.00	2,973.60
01-XXXX	FIREFIGHTER/PARAMEDIC	-	-	28.00	1,063.92	28.00	1,063.92
01-XXXX	PARAMEDIC	16.00	453.12	16.00	453.12	32.00	906.24
01-XXXX	PARAMEDIC	40.00	1,132.80	41.00	1,161.12	81.00	2,293.92
01-XXXX	PARAMEDIC	40.00	1,132.80	16.00	453.12	56.00	1,585.92
01-XXXX	FIREFIGHTER/PARAMEDIC	-	-	4.00	144.84	4.00	144.84
01-XXXX	PARAMEDIC	40.00	1,132.80	-	-	40.00	1,132.80
01-XXXX	FIREFIGHTER/PARAMEDIC	-	-	4.00	145.44	4.00	145.44
01-XXXX	PARAMEDIC	-	-	8.00	226.56	8.00	226.56
*** DEPARTMENT TOTALS ***		176.00	4,984.32	182.00	5,488.92	358.00	10,473.24

Built in overtime, coverage for sick employees, and employees absent from training.

POLICE						TOTAL HOURS	TOTAL AMOUNT
EMP NO#	POSITION	1st PP	AMOUNT	2nd PP	AMOUNT		
01-XXXX	COMMUNICATIONS OFFICER	-	-	1.00	52.24	1.00	52.24
01-XXXX	INTERIM POLICE SERGEANT	4.00	285.79	-	-	4.00	285.79
01-XXXX	POLICE OFFICER	16.00	822.00	1.00	51.38	17.00	873.38
01-XXXX	ANIMAL CONTROL OFFICER	4.00	141.36	-	-	4.00	141.36
01-XXXX	POLICE OFFICER	-	-	4.00	208.96	4.00	208.96
01-XXXX	POLICE OFFICER	4.00	213.84	-	-	4.00	213.84
01-XXXX	POLICE OFFICER II	15.50	806.78	4.00	213.84	19.50	1,020.62
01-XXXX	COMMUNICATIONS OFFICER	2.00	75.16	20.00	751.60	22.00	826.76
01-XXXX	POLICE OFFICER	-	-	18.00	932.56	18.00	932.56
01-XXXX	POLICE OFFICER	-	-	1.00	51.38	1.00	51.38
01-XXXX	POLICE SERGEANT	4.00	278.55	-	-	4.00	278.55
01-XXXX	POLICE OFFICER	2.00	107.42	-	-	2.00	107.42
01-XXXX	ANIMAL CONTROL OFFICER	-	-	4.00	147.72	4.00	147.72
01-XXXX	POLICE OFFICER	4.00	205.50	5.00	256.88	9.00	462.38
01-XXXX	POLICE OFFICER II	6.00	309.29	-	-	6.00	309.29
*** DEPARTMENT TOTALS ***		61.50	3,245.69	58.00	2,666.56	119.50	5,912.25

Dispatch coverage for vacation, ACO & Patrol - Public Safety Academy, Patrol late reports, Patrol coverage for sick employees, bereavement, and light duty, Training, UKG Training (new payroll system), ACO after hours, CID - Incident, Court, School Resource Officer

STREETS							
EMP NO#	POSITION	1st PP	AMOUNT	2nd PP	AMOUNT	TOTAL HOURS	TOTAL AMOUNT
01-XXXX	INSPECTOR	12.00	576.74	20.00	961.24	32.00	1,537.98
01-XXXX	UTILITY WORKER I	9.50	291.98	-	-	9.50	291.98
01-XXXX	UTILITY WORKER II	3.50	129.26	-	-	3.50	129.26
01-XXXX	UTILITIES SUPERVISOR	3.50	152.93	-	-	3.50	152.93
*** DEPARTMENT TOTALS ***		28.50	1,150.91	20.00	961.24	48.50	2,112.15

Contractor inspection for Stewart Farms project, Glenn Heights Connect set up, pump station security issue, check locks, skunk found inside, emergency water turn off for customer, City wide turn ons for residents, and well reads

PARKS & RECREATION							
EMP NO#	POSITION	1st PP	AMOUNT	2nd PP	AMOUNT	HOURS	AMOUNT
01-XXXX	REC AIDE (P/T)	1.25	38.42	-	-	1.25	38.42
*** DEPARTMENT TOTALS ***		1.25	38.42	-	-	1.25	38.42

Due to a long rental day.

WATER OPERATIONS							
EMP NO#	POSITION	1st PP	AMOUNT	2nd PP	AMOUNT	TOTAL HOURS	TOTAL AMOUNT
01-XXXX	UTILITY WORKER III	-	-	6.00	235.98	6.00	235.98
01-XXXX	UTILITY WORKER II	2.00	73.86	-	-	2.00	73.86
01-XXXX	UTILITY WORKER II	14.00	517.02	-	-	14.00	517.02
01-XXXX	UTILITY WORKER III-BACKFLOW	2.00	78.66	4.00	157.32	6.00	235.98
*** DEPARTMENT TOTALS ***		18.00	669.54	10.00	393.30	28.00	1,062.84

Tree down residential area, well reads, Water Distribution Class, Glenn Heights Connect set up, power outage at Pump Station alert.

WASTEWATER OPERATIONS							
EMP NO#	POSITION	1st PP	AMOUNT	2nd PP	AMOUNT	TOTAL HOURS	TOTAL AMOUNT
01-XXXX	UTILITY WORKER III	-	-	4.00	139.14	4.00	139.14
01-XXXX	UTILITY WORKER I	-	-	13.50	442.46	13.50	442.46
01-XXXX	UTILITY WORKER III	0.50	19.67	11.00	432.63	11.50	452.30
*** DEPARTMENT TOTALS ***		0.50	19.67	28.50	1,014.23	29.00	1,033.90

Tree down residential area, residential citywide cutoffs, barricades needed for street flooding, gasket leak at customer's resident, Glenn Heights connect set up, Jump start city vehicle, 2" water main break, Water Distribution Class, and well reads

STORMWATER OPERATIONS

EMP NO#	POSITION	1st PP	AMOUNT	2nd PP	AMOUNT	TOTAL HOURS	TOTAL AMOUNT
01-XXXX	UTILITY WORKER I	5.50	179.36	-	-	5.50	179.36
*** DEPARTMENT TOTALS ***		5.50	179.36	-	-	5.50	179.36

Pump Station issues, residential water issues, multiple citywide turnons, recover cell phone dropped in storm drain and unlock restrooms at the All Ability Park.

*** REPORT TOTALS ***	291.25	10,287.91	298.50	10,524.25	589.75	20,812.16
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CITY OF GLENN HEIGHTS CITY COUNCIL REPORT

Date: July 15, 2025

SUBJECT

Discussion and take action to approve Resolution R-21-25, a Resolution suspending the July 31, 2025, effective date of Oncor Electric Delivery Company's requested rate change to permit the City time to study the request and to establish reasonable rates; approving cooperation with the Steering Committee of cities served by Oncor to hire legal and consulting services and to negotiate with the company and direct any necessary litigation and appeals; finding that the meeting at which this Resolution is passed is open to the public as required by law; requiring notice of this Resolution to the company and legal counsel for the Steering Committee.

DISCUSSION / BACKGROUND

The City of Glenn Heights is a member of a 170-city coalition known as the Steering Committee of Cities Served by Oncor ("Steering Committee"). The Steering Committee has been in existence since the late 1980s. It took on a formal structure in the early 1990s when cities served by the former TXU gave up their statutory right to rate case expense reimbursement in exchange for higher franchise fee payments. Empowered by city resolutions and funded by per capita assessments, the Steering Committee has been the primary public interest advocate before the Public Utility Commission, the Courts, and the Legislature on electric utility regulation matters for the last 30 years.

Although Oncor has increased rates many times over the past few years, this is the first comprehensive base rate case for the Company since May 2022.

PRIOR COUNCIL OR BOARD ACTION

Not applicable.

PUBLIC CONTACT

Not applicable.

FINANCIAL IMPACT

Not applicable.

RECOMMENDATION / ALTERNATIVES

Staff Recommends approval of Resolution R-21-25.

ATTACHMENTS

1. Resolution R-21-25

PREPARED BY

Thomas Brocato, Lloyd Gosselink Rochelle & Townsend, P.C.

REVIEWED BY

Brandi Brown, City Secretary

RESOLUTION NO. R-21-25

RESOLUTION OF THE CITY OF GLENN HEIGHTS SUSPENDING THE JULY 31, 2025 EFFECTIVE DATE OF ONCOR ELECTRIC DELIVERY COMPANY'S REQUESTED RATE CHANGE TO PERMIT THE CITY TIME TO STUDY THE REQUEST AND TO ESTABLISH REASONABLE RATES; APPROVING COOPERATION WITH THE STEERING COMMITTEE OF CITIES SERVED BY ONCOR TO HIRE LEGAL AND CONSULTING SERVICES AND TO NEGOTIATE WITH THE COMPANY AND DIRECT ANY NECESSARY LITIGATION AND APPEALS; FINDING THAT THE MEETING AT WHICH THIS RESOLUTION IS PASSED IS OPEN TO THE PUBLIC AS REQUIRED BY LAW; REQUIRING NOTICE OF THIS RESOLUTION TO THE COMPANY AND LEGAL COUNSEL FOR THE STEERING COMMITTEE

WHEREAS, on or about June 26, 2025, Oncor Electric Delivery Company (Oncor), pursuant to PURA §§ 33.001 and 36.001 filed with the City of Glenn Heights a Statement of Intent to increase electric transmission and distribution rates in all municipalities exercising original jurisdiction within its service area effective July 31, 2025; and

WHEREAS, the City of Glenn Heights is a member of the Steering Committee of Cities Served by Oncor ("Steering Committee") and will cooperate with the 170 similarly situated city members and other city participants in conducting a review of the Company's application and to hire and direct legal counsel and consultants and to prepare a common response and to negotiate with the Company prior to getting reasonable rates and direct any necessary litigation; and

WHEREAS, PURA § 36.108 grants local regulatory authorities the right to suspend the effective date of proposed rate changes for ninety (90) days after the date the rate change would otherwise be effective; and

WHEREAS, PURA § 33.023 provides that costs incurred by Cities in ratemaking proceedings are to be reimbursed by the regulated utility.

THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF GLENN HEIGHTS, TEXAS:

1. That the July 31, 2025 effective date of the rate request submitted by Oncor on or about June 26, 2025, be suspended for the maximum period allowed by law to permit adequate time to review the proposed changes and to establish reasonable rates.

2. As indicated in the City's resolution approving membership in the Steering Committee, the Executive Committee of Steering Committee is authorized to hire and direct legal counsel and consultants, negotiate with the Company, make recommendations regarding reasonable rates, and to intervene and direct any necessary administrative proceedings or court litigation associated with an appeal of a rate ordinance and the rate case filed with the City or Public Utility Commission.

3. That the City's reasonable rate case expenses shall be reimbursed by Oncor.

4. That it is hereby officially found and determined that the meeting at which this Resolution is passed is open to the public as required by law and the public notice of the time, place, and purpose of said meeting was given as required.

5. A copy of this Resolution shall be sent to Oncor Electric Delivery Company LLC, 1616 Woodall Rodgers Freeway, Dallas, Texas 75202 and to Thomas Brocato, Counsel to the Steering Committee, at Lloyd Gosselink Rochelle & Townsend, P.C., P.O. Box 1725, Austin, Texas 78767-1725.

PASSED AND APPROVED this the 15th day of July, 2025.

Approved:

Sonja A. Brown, Mayor

Attest:

Brandi Brown, City Secretary

Approved as to Form:

David M. Berman, City Attorney

UHL CROSSING PLANNED DEVELOPMENT (PD-32)



PARVIZ POURAZIZIAN, DIRECTOR OF DEVELOPMENT
SERVICES

JULY 15, 2025



Discussion and Take action related to granting a change in zoning from Retail (R) District to a Planned Development District-32 (PD-32) for approximately 33.359 acres of land located at North West Corner of Ovilla Road and South UHL Road, Being a tract of land situated in the M Crasp Survey, Abstract Number 264, and the M McDermott Survey, Abstract Number 743, City of Glenn Heights, Ellis County, Texas and being a portion of that tract of land described as Sixth Tract in Deed to Joe Michael Mcgeath, Recorded in Volume 621, Page 839, of the official public record of Ellis County, Texas (OPRECT) also commonly known as 605 Ovilla Road, Glenn Heights, Texas by changing the zoning classification from Retail (R) to Planned Development-32 (PD-32) for the purpose of a Mixed-Use development site, consisting of Multi-Family and Commercial.

REZONING REQUEST



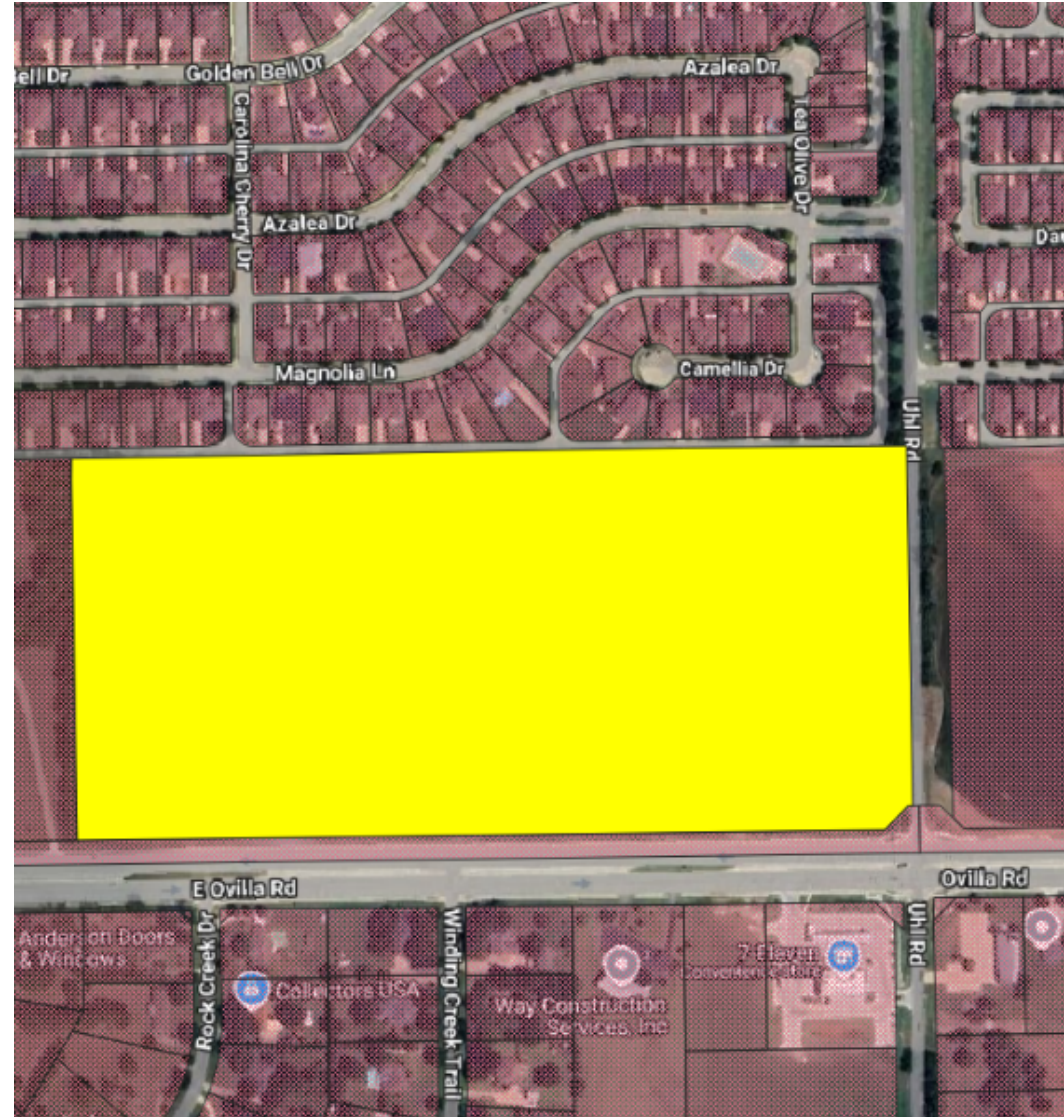
Applicant: Michael Neary

Location: Northwest corner of Ovilla Rd & S UHL Rd

Request: Rezone from Retail (R) to Mix Use MF and Commercial

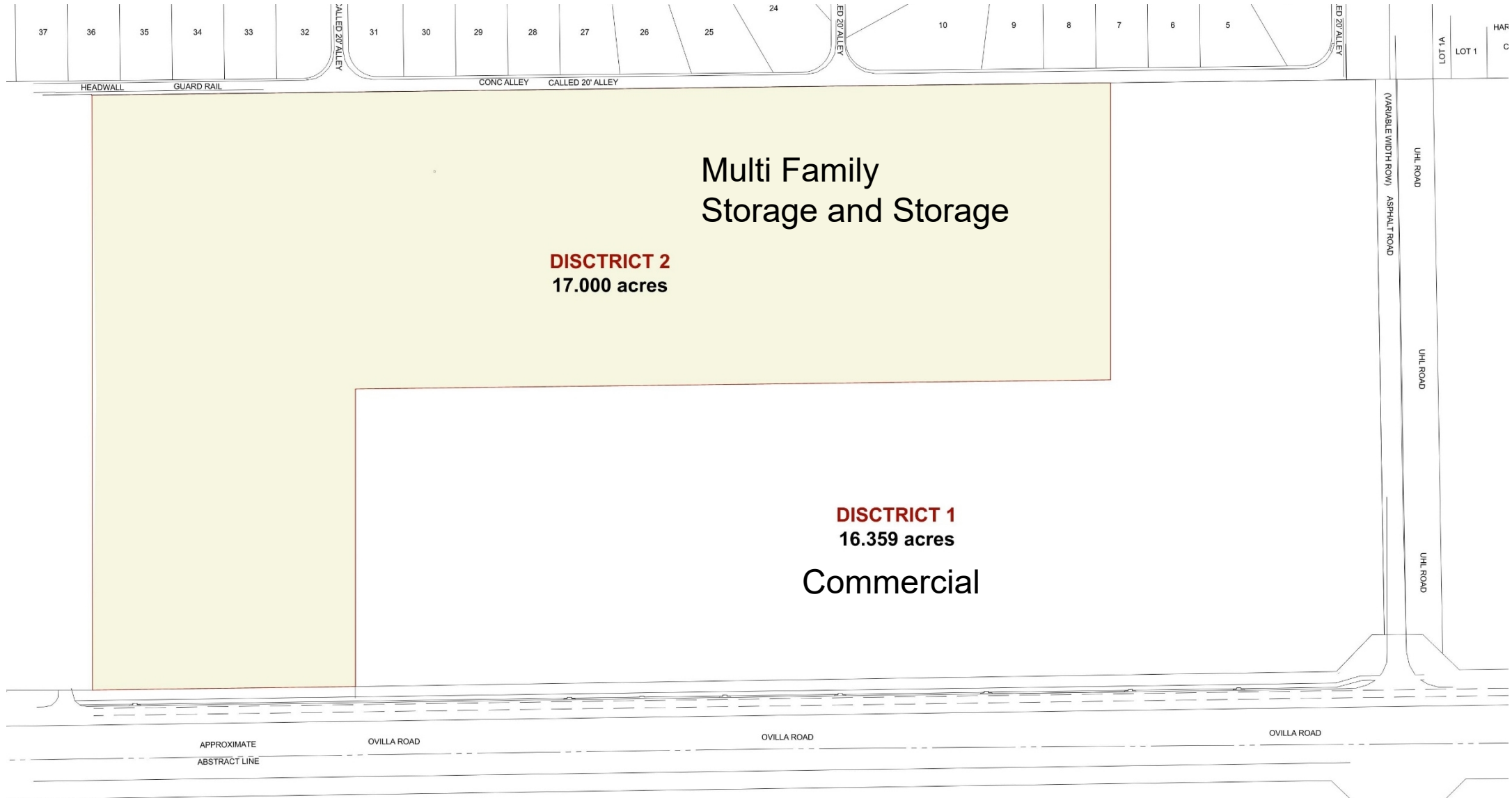
Current Zoning: Retail (R)

LOCATION MAP

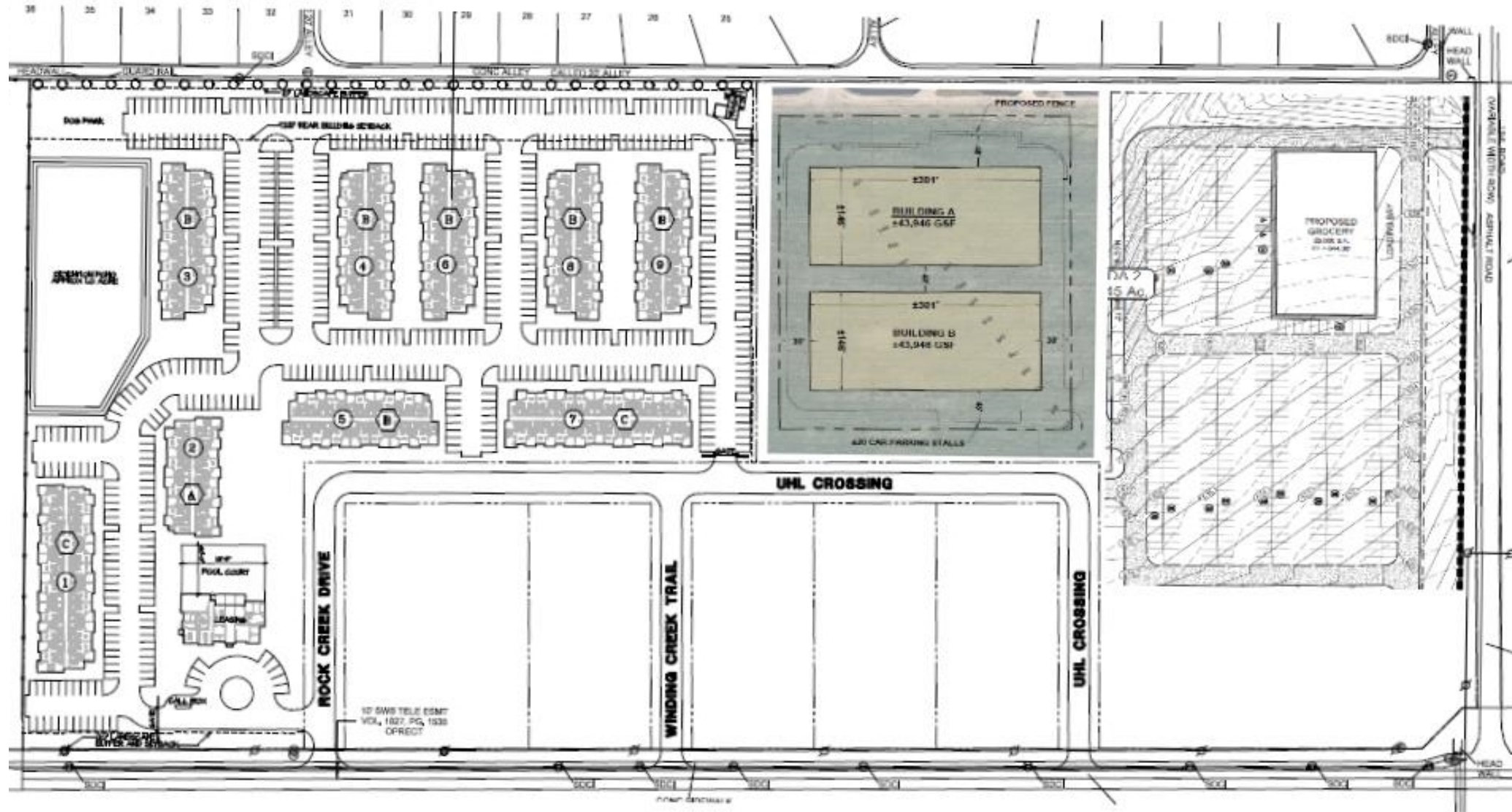




DISTRICT MAP



CONCEPTUAL SITE PLAN



LAND USE



Table 1 — Estimated Land Use Allocation

District	Land Use	Est. Acres	Est. Percentage of PD
District 1	Commercial	16.3559	49%
District 2	Commercial/Multifamily/Storage	17.0000	51%
	Total PD Acres & Percentages	33.3559	100%

ALLOWED USES (DISTRICT 1, COMMERCIAL)



The following uses are permitted by right in addition to those allowed under the base zoning district specified above:

- a. Retail Store, General
- b. Retail
- c. Urgent Care or Medical Office
- d. Automobile Repair, Minor
- e. Carwash, Automated
- f. Food/Convenience Store
- g. Grocery Store
- h. Multi-Use Entertainment Complex
- i. Restaurant, Drive-in
- j. Restaurant, Drive-thru
- k. Restaurant, Incidental or Accessory
- l. Office (Include Medical)
- m. Civic Use
- n. Community Facilities
- o. Shopping Center
- p. New Tire Sales/Service

ALLOWED USES (DISTRICT 1, COMMERCIAL)



The following uses are permitted under the base zoning district specified above **with Specific/ Special Use Permit (SUP)**:

- a. Liquor Store
- b. Vape / Smoke Shop
- c. Automobile Repair, Major
- d. Terminal, Bus or Baggage and Transfer
- e. Storage, Warehouse, Wholesale and Mini Warehouse
- f. Any use that is not specified above in the list of uses permitted by right



ALLOWED USES (DISTRICT 2)

The uses permitted by right in District 2 of the PD shall include all of the uses allowed in District 1 as well as the additional uses listed below. All uses will follow the City's design and standards for those uses, except as modified by this ordinance.

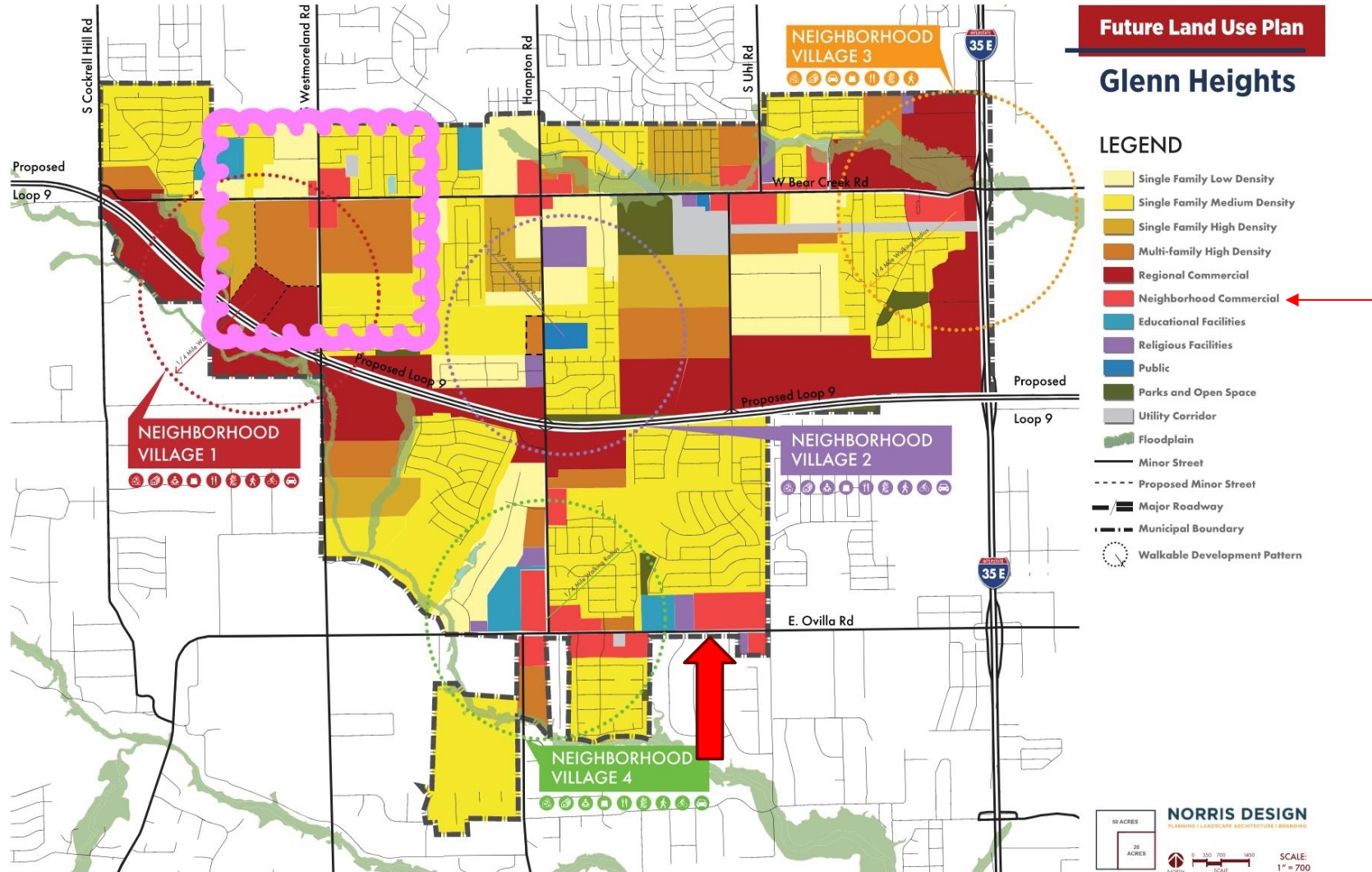
The following uses are permitted by right in addition to those allowed in District 1:

- a) Multifamily
- b) Warehouse, Self-storage / Mini

2024 FUTURE LAND USE



5-7: Future Land Use Plan



DISCUSSIONS AND CONCERNS



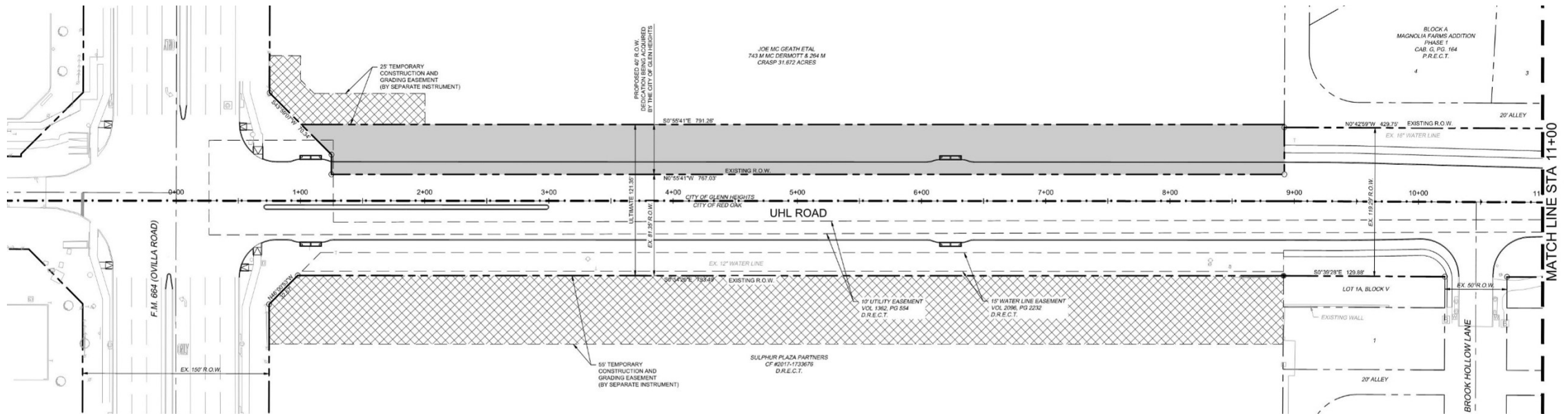
Based on the input from residents, there are some concerns related to this development that the staff and the applicant tried to address:

- a. Traffic along S UHL RD
- b. Drainage
- c. Privacy and Security



TRAFFIC ALONG S UHL RD

S UHL Road is planned to be widened to (4) four lane road with center median. The project plans to start around August 2025 and anticipated to take 6-9 months for completion.



DRAINAGE

This particular land has between 15-20 elevation difference as the preliminary drainage plans indicates no impact to the neighborhood. (Some areas are also flat)





PRIVACY AND SECURITY

The applicant and staff agreed on a few items to ensure the privacy and security are not compromised:

- The Apartments and the Mini Warehouse (if receives approval) will be gated
- There will be 8' tall Masonry wall along the entire northern boundary. (No connection from this development to the neighborhood to the north is allowed.)
- Trees spaced at 30 feet with minimum height of 10' at the time planting along the northern boundary.
- The building near the residential houses to the north will be oriented N-S to have their windows facing East and West.

RECOMMENDATION



Staff Recommends approval of proposed zone change.

QUESTIONS



COMMENTS

Ovilla Rd. Land Development City Council Presentation

July 15, 2025

Previous Projects



Planned Development

We are planning to develop a 32-acre tract of land located at the northwest corner of the Ovilla and Uhl Road intersection. The proposed development is located on the southeastern border of the City of Glenn Heights.

We are here tonight to request approval of our PD application to establish the commercial base zoning district as well as designate an area of the site that will also allow multifamily and storage.



Property Neighbors

- South: Ovilla Road
- East: Uhl Road
- West: Ovilla Heights Baptist Church
- North: Magnolia Farms Community



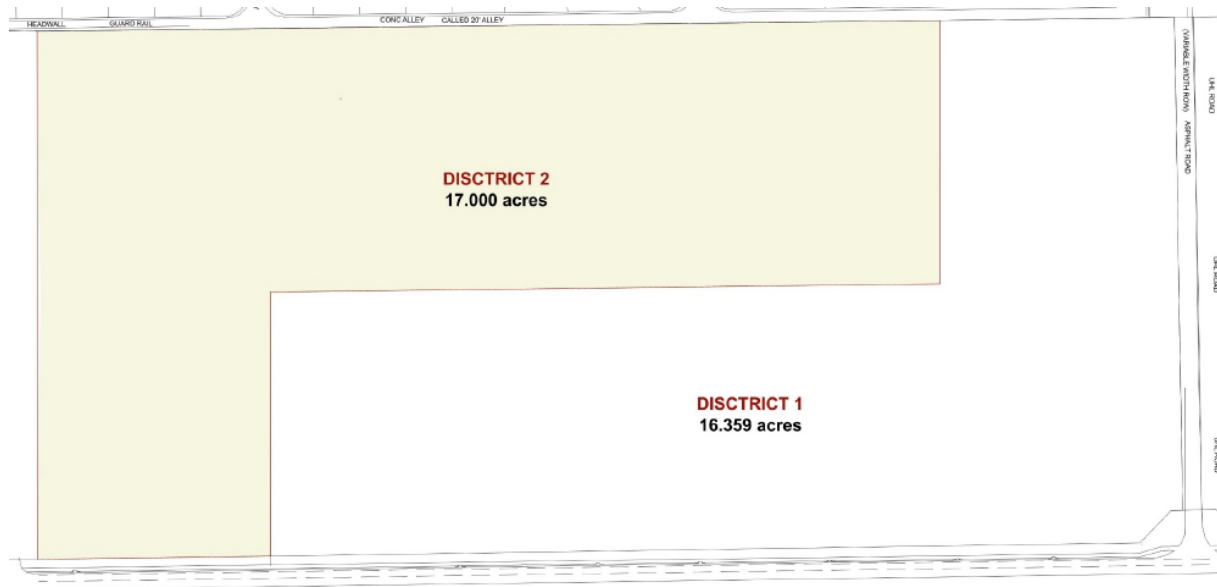
Key Highlights

- Stand alone project
 - There will be no access to the project from either Magnolia Farms or the Ovilla Rd Baptist Church property
- Significant effort to screen this project from the neighborhood
 - 8' masonry wall to be constructed along the northern border of project
 - Increased landscape screening: Trees to be planted with minimum 3" caliper and reduced spacing to develop significant canopy

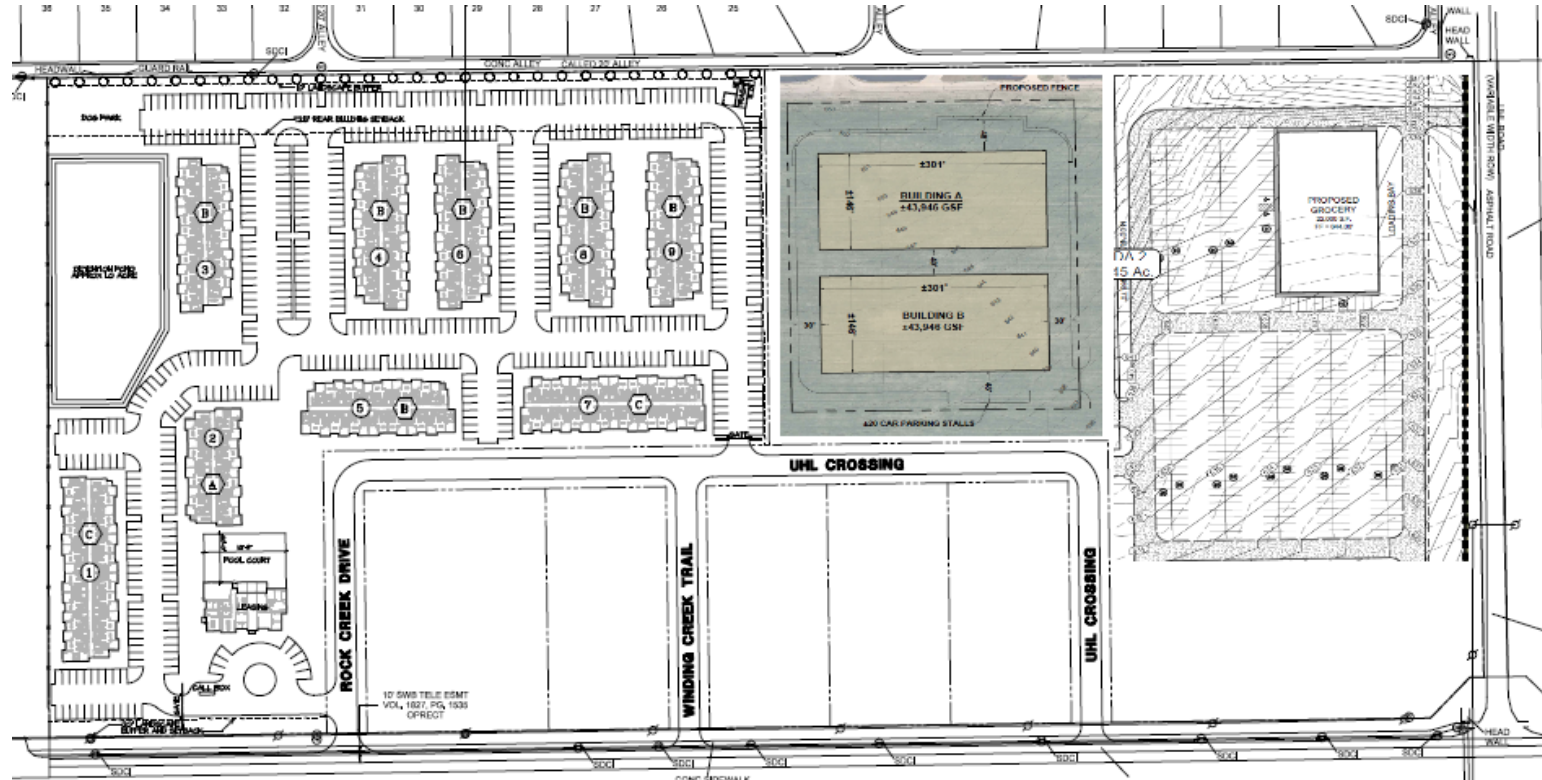


Proposed Zoning Districts

- Commercial base zoning applies to both Districts
- District 2: Allows MF & Storage



Preliminary Site Layout



Neighborhood Communication

- We proactively reached out to the HOA management firm to organize a meeting with neighboring homeowners to discuss our project
 - March 25, 2025
 - Approximately 30 residents in attendance
 - May 12, 2025
 - Follow-up meeting with HOA Board Members
 - June 1, 2025
 - Planning & Zoning meeting
 - Public comments
 - Spoke to several neighbors after meeting



Neighborhood Concerns

- Overall Development
 - Drainage concerns in Magnolia Farms & at Church
 - Development of the site will overwhelm Uhl Road
 - Red Oak ISD overcrowded
- Uhl Road
 - Undersized
 - Poor condition
- Multifamily
 - Four story is too tall
 - Don't want MF residents looking over their backyards
- Storage
 - Projects are unattractive



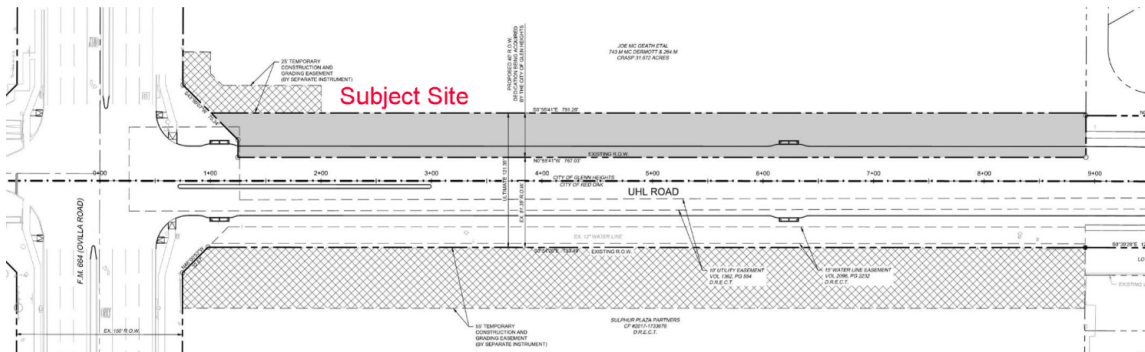
Addressing Concerns

- Overall Development
 - Drainage concerns in Magnolia Farms
 - Site falls away from Magnolia Farms Community:
 - No stormwater will flow into the community



Addressing Concerns

- Overall Development
 - Development of the site will overwhelm Uhl Road
 - The expansion of Uhl Road is underway
 - Projected NTP date: August 4, 2025
 - Projected completion date: December 2026



- To the extent possible, we intend to provide construction access from Ovilla Rd



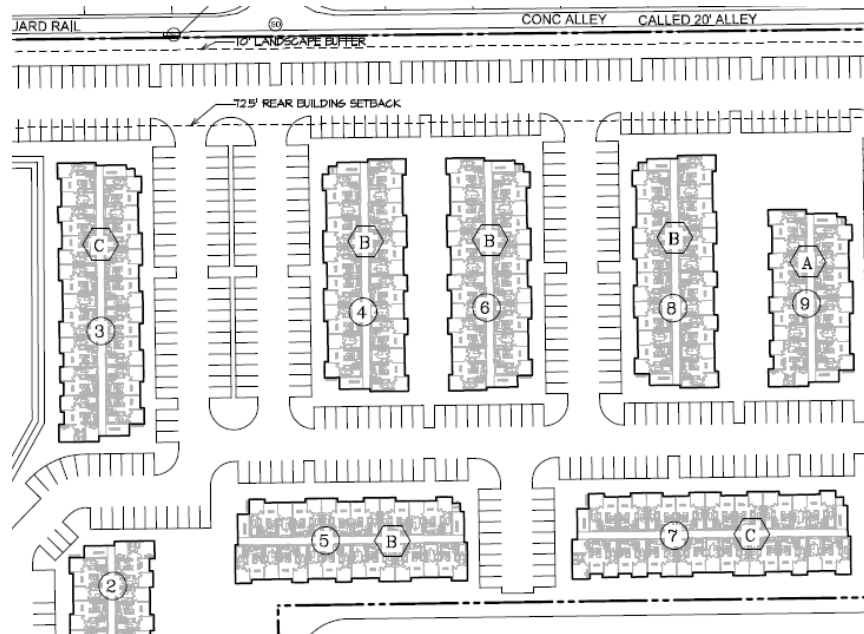
Addressing Concerns

- Uhl Road
 - Expansion to 4 travel lanes with center turn lane, curb, & gutter
 - Should provide ample capacity to serve existing neighborhoods
 - The majority of our project will be accessed from Ovilla Road rather than Uhl Road
- Multifamily
 - Reduced proposed project to 3-story
 - Providing significant screening from Magnolia Farms Community
 - Continuous 8' masonry wall
 - Planting 3" caliper trees with reduced spacing
 - Rotated buildings to be oriented North/South rather than East/West to limit views of neighbors' properties



Addressing Concerns

- Multifamily
 - Reduced proposed project to 3-story
 - Providing significant screening from Magnolia Farms Community
 - Continuous 8' masonry wall
 - Planting 3" caliper trees with reduced spacing
 - Rotated buildings to limit views of neighbors' properties



Neighborhood Concerns

- Storage Concern: Unattractive
- Selected an institutional development partner
- Selected interior site location to maximize screening of the project from public view
- Limited height to single story
- Site will be fully secured and provide landscape screening on all sides
- Northern border will provide increased screening to shield project from Magnolia Farms, including continuous 8' masonry wall, trees planted with minimum 3" caliper trees at reduced spacing



Summary

- Overall Development Goals
 - Create a cohesive 32-acre mixed use development anchored by multifamily to ultimately attract new commercial tenants to Glenn Heights
 - Restaurants
 - Retail
 - Grocery
 - Provide ample security and screening to minimize project's impact on neighbors
- Communication
 - Ongoing communication with the city and neighboring property owners resulted in feedback that allowed us to make significant changes to address the concerns expressed by our neighbors



Questions



Back-up Slides



MF Parking

- Required spaces in proposed PD

Unit Type	Spaces Required
Studio	1.00
1-BR	1.25
2-BR	2.00
3-BR	2.50
Additional Required Spaces:	1 per 15 units



MF Parking

- Projected space count in possible 325-unit project unit mix

Unit Type	Unit count	Required spaces
1-BR	195	244
2-BR	114	228
3-BR	16	40
Total	325	512
Additional Required Spaces:		22
Total Spaces Required:		534
Spaces/unit:		1.64x



Example Elevation



Example Elevation



AN ORDINANCE OF THE CITY OF GLENN HEIGHTS, TEXAS

ORDINANCE NO. O-10-25

AN ORDINANCE OF THE CITY OF GLENN HEIGHTS, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE, PLAN AND MAP OF THE CITY OF GLENN HEIGHTS, AS HERETOFORE AMENDED, BY GRANTING A CHANGE IN ZONING FOR AN APPROXIMATE 33.359+/-ACRE PARCEL OF LAND GENERALLY LOCATED ON THE NORTHWEST CORNER OF FM 664 (OVILLA ROAD) AND S. UHL ROAD, AND BEING MORE PARTICULARLY DESCRIBED AS A TRACT OF LAND SITUATED IN THE M. CRASP SURVEY, ABSTRACT NO. 264, AND THE M. MCDERMOTT SURVEY, ABSTRACT NO. 743, CITY OF GLENN HEIGHTS, ELLIS COUNTY, TEXAS AND BEING MORE PARTICULARLY DESCRIBED IN EXHIBIT 1 ATTACHED HERETO, TO REZONE THE PROPERTY FROM RETAIL (“R”) DISTRICT TO PLANNED DEVELOPMENT (“PD-32”), ALLOWING FOR THE DEVELOPMENT OF MULTIFAMILY AND COMMERCIAL USES, WITH UNDERLYING BASE ZONING OF MULTI-FAMILY (MF) AND COMMERCIAL (C); ADOPTING PLANNED DEVELOPMENT REGULATIONS; PROVIDING A SAVINGS CLAUSE; PROVIDING A REPEALING CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A PENALTY OF FINE NOT TO EXCEED TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the Planning and Zoning Commission of the City of Glenn Heights and the City Council of the City of Glenn Heights, in compliance with the laws of the State of Texas with reference to the granting of zoning classifications and changes, have given requisite notices by publication and otherwise, and have held due hearings and afforded a full and fair hearing to all property owners generally and to all persons interested and situated in the affected area and in the vicinity thereof, and the City Council of the City of Glenn Heights is of the opinion and finds that a zoning change should be granted, and that the Comprehensive Zoning Ordinance, Plan and Map should be amended.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GLENN HEIGHTS, TEXAS, THAT:

SECTION 1. The Comprehensive Zoning Ordinance, Plan and Map of the City of Glenn Heights, Texas, as heretofore amended, be and the same are hereby amended by granting a change in zoning from “R” Retail to Planned Development (PD-32) with underlying base zoning of Multifamily Residential (MF) and Commercial (C) on those portions of the Property as shown in Exhibit 3 for a 33.359+/-acre parcel of land generally located on the northwest corner of FM 664 (Ovilla Road) and S. Uhl Road, and being more particularly described as a tract of land situated in the M. Crasp Survey, Abstract no. 264, and the M. McDermott Survey, Abstract no. 743, City of Glenn Heights, Ellis County, Texas, and being more particularly described in Exhibit 1 attached

hereto (the “Property”).

SECTION 2. That the development standards and regulations set forth in the following exhibits:

- Exhibit 2: Planned Development District Regulations
- Exhibit 3: Concept/Site Plan

all of which are attached hereto and made a part hereof, shall be applicable to all land uses, structures, the use and occupancy of all structures and the development, construction, operation maintenance of all improvements on the Property.

SECTION 3. The Property shall be used only in the manner and for the purposes provided herein and by the ordinances of the City of Glenn Heights, Texas, as heretofore amended, and as amended herein. The development, use and occupancy of the Property shall conform to the standards and regulations set forth in the Exhibits attached hereto, the provisions of the Comprehensive Zoning Ordinance of the City of Glenn Heights, Texas, and the laws of the State of Texas, as amended. In the event of any conflict or inconsistency between the provisions of this ordinance and the provisions contained in any other provision of the City’s Comprehensive Zoning Ordinance or other codes or ordinances of the City, the provisions of this ordinance shall control. In the event that this ordinance does not include a standard or regulation that is otherwise required for similar or comparable development or uses by the Comprehensive Zoning Ordinance or Code of Ordinances, then the standard or regulation required by the Comprehensive Zoning Ordinance or Code of Ordinances shall be applied to development and use of the Property.

SECTION 4. An offense committed before the effective date of this ordinance is governed by the prior law and the provisions of the Code of Ordinances, as amended, in effect when the offense was committed, and the former law is continued in effect for this purpose.

SECTION 5. That all provisions of the ordinances of the City of Glenn Heights in conflict with the provisions of this ordinance be and the same are hereby repealed, and all other provisions of the ordinances of the City not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 6. Should any sentence, paragraph, subdivision, clause, phrase, or section of this ordinance or the Comprehensive Zoning Ordinance, as amended hereby, be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this ordinance or the Comprehensive Zoning Ordinance as a whole, or any part or provision thereof, other than the part declared to be invalid, illegal, or unconstitutional.

SECTION 7. Any person, firm, or corporation violating any of the provisions or terms of this ordinance or the Comprehensive Zoning Ordinance, as amended hereby, shall be subject to a penalty by fine not to exceed two thousand dollars (\$2,000.00) for each offense, and each and every day such violation continues or is allowed to exist shall constitute a separate offense.

SECTION 8. This ordinance shall take effect immediately from and after its passage and

the publication of its caption, as the law and charter in such cases provide.

DULY PASSED by the City Council of the City of Glenn Heights, Texas this 15th day of July, 2025.

APPROVED:

SONJA A. BROWN, MAYOR

ATTEST:

Brandi Brown, City Secretary

APPROVED AS TO FORM:

David M. Berman, City Attorney

EXHIBIT 1

PROPERTY DESCRIPTION:

BEING A TRACT OF LAND SITUATED IN THE M. CRASP SURVEY, ABSTRACT NO. 264, AND THE M. MCDERMOTT SURVEY, ABSTRACT NO. 743, CITY OF GLENN HEIGHTS, ELLIS COUNTY, TEXAS AND BEING A PORTION OF THAT TRACT OF LAND DESCRIBED AS SIXTH TRACT IN DEED TO JOE MICHAEL MCGEATH, RECORDED IN VOLUME 621, PAGE 839, OF THE OFFICIAL PUBLIC RECORDS OF ELLIS COUNTY, TEXAS (OPRECT) AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A COTTON SPINDLE FOUND FOR NORTHWEST CORNER OF A CALLED 3.2922 ACRE TRACT OF LAND DESCRIBED IN DEED TO THE STATE OF TEXAS, RECORDED IN INSTRUMENT NO. 1610477, OPRECT AND THE COMMON NORTHEAST CORNER OF A CALLED 0.5173ACRE TRACT OF LAND DESCRIBED IN DEED TO THE STATE OF TEXAS, RECORDED IN INSTRUMENT NO. 1600845, OPRECT AND IN THE EAST LINE OF THAT TRACT OF LAND DESCRIBED IN DEED TO OVILLA HEIGHTS BAPTIST CHURCH, RECORDED IN VOLUME 1548, PAGE 163, OPRECT AND IN THE NORTH RIGHT-OF-WAY (ROW) LINE OF F.M. HIGHWAY NO. 664/OVILLA ROAD (CALLED 150' ROW);

THENCE N 00°11'56" W, ALONG THE EAST LINE OF SAID OVILLA HEIGHTS BAPTIST CHURCH TRACT, A DISTANCE OF 819.67 FEET TO A 5/8" IRON ROD WITH CAP STAMPED "TXRCS" SET FOR CORNER THE NORTHEAST CORNER OF SAID OVILLA HEIGHTS BAPTIST CHURCH TRACT, IN THE SOUTH LINE OF MAGNOLIA FARMS ADDITION, RECORDED IN CABINET G SLIDE 164, OPRECT;

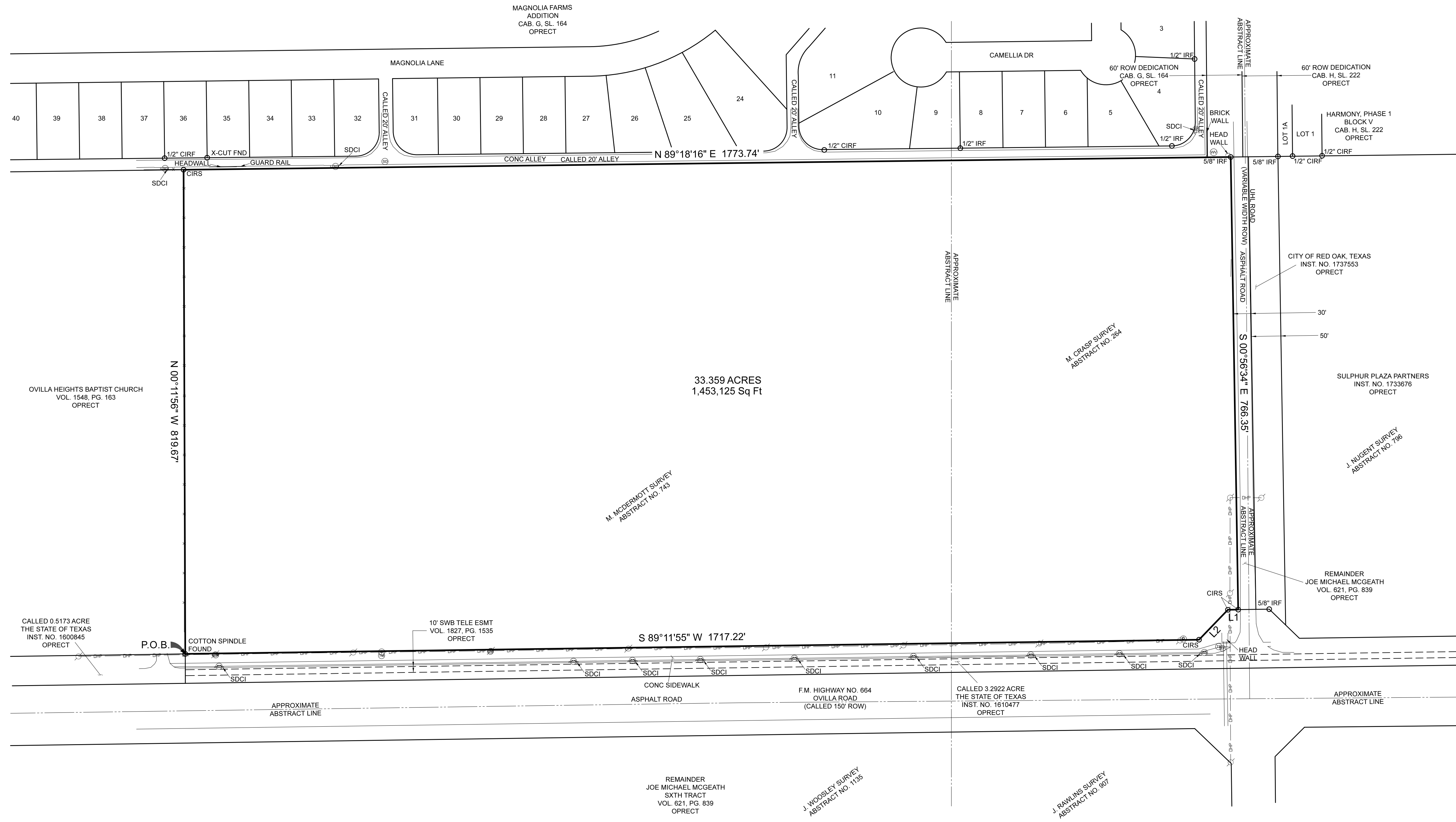
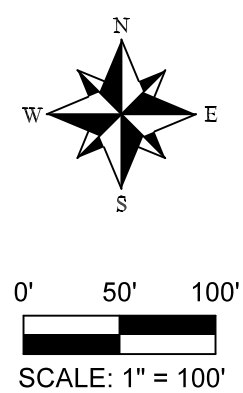
THENCE N 89°18'16" E, ALONG THE SOUTH LINE OF SAID MAGNOLIA FARMS ADDITION, A DISTANCE OF 1773.74 FEET TO A 5/8" IRON ROD FOUND FOR CORNER, FROM WHICH THE SOUTHEAST CORNER OF SAID MAGNOLIA FARMS ADDITION BEARS N 89°18'16" E 20.57 FEET;

THENCE S 00°56'34" E, OVER AND ACROSS SAID MCGEATH TRACT, A DISTANCE OF 766.35 FEET TO A 5/8" IRON ROD WITH CAP STAMPED "TXRCS" SET FOR CORNER IN THE NORTH LINE OF SAID CALLED 3.2922 ACRE STATE OF TEXAS TRACT AND THE COMMON NORTH ROW LINE OF SAID F.M. HIGHWAY 664/OVILLA ROAD;

THENCE S 89°11'55" W, ALONG THE NORTH LINE OF SAID CALLED 3.2922 ACRE STATE OF TEXAS TRACT AND THE COMMON NORTH ROW LINE OF SAID F.M. HIGHWAY 664/OVILLA ROAD, A DISTANCE OF 17.39 FEET TO A 5/8" IRON ROD WITH CAP STAMPED "TXRCS" SET FOR CORNER;

THENCE S 43°59'13" W, ALONG THE NORTH LINE OF SAID CALLED 3.2922 ACRE STATE OF TEXAS TRACT AND THE COMMON NORTH ROW LINE OF SAID F.M. HIGHWAY 664/OVILLA ROAD, A DISTANCE OF 70.45 FEET TO A 5/8" IRON ROD WITH CAP STAMPED "TXRCS" SET FOR CORNER:

THENCE S 89°11'55" W. ALONG THE NORTH LINE OF SAID CALLED 3.2922 ACRE STATE OF TEXAS TRACT AND THE COMMON NORTH ROW LINE OF SAID F.M. HIGHWAY 664/OVILLA ROAD, A DISTANCE OF 1717.22 FEET TO THE POINT OF BEGINNING, AND CONTAINING 33.359ACRES OF LAND MORE OR LESS.



PROPERTY DESCRIPTION:

BEING A TRACT OF LAND SITUATED IN THE M. CRASP SURVEY, ABSTRACT NO. 264, AND THE M. MCDERMOTT SURVEY, ABSTRACT NO. 743, CITY OF GLENN HEIGHTS, ELLIS COUNTY, TEXAS AND BEING A PORTION OF THAT TRACT OF LAND DESCRIBED AS SIXTH TRACT IN DEED TO JOE MICHAEL MCGEATH, RECORDED IN VOLUME 621, PAGE 839, OF THE OFFICIAL PUBLIC RECORDS OF ELLIS COUNTY, TEXAS (OPRECT) AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A COTTON SPINDLE FOUND FOR NORTHWEST CORNER OF A CALLED 3.2922 ACRE TRACT OF LAND DESCRIBED IN DEED TO THE STATE OF TEXAS, RECORDED IN INSTRUMENT NO. 1610477, OPRECT AND THE COMMON NORTHEAST CORNER OF A CALLED 0.5173 ACRE TRACT IN DEED TO THE STATE OF TEXAS, RECORDED IN INSTRUMENT NO. 1600845, OPRECT AND IN THE EAST LINE OF THAT TRACT OF LAND DESCRIBED IN DEED TO OVILLA HEIGHTS BAPTIST CHURCH, RECORDED IN VOLUME 1548, PAGE 163, OPRECT AND IN THE NORTH RIGHT-OF-WAY (ROW) LINE OF F.M. HIGHWAY NO. 664 OVILLA ROAD (CALLED 150' ROW);

THENCE N 00°11'56" W, ALONG THE EAST LINE OF SAID OVILLA HEIGHTS BAPTIST CHURCH TRACT, A DISTANCE OF 819.67 FEET TO A 5/8" IRON ROD WITH CAP STAMPED "TXRCS" SET FOR CORNER THE NORTHEAST CORNER OF SAID OVILLA HEIGHTS BAPTIST CHURCH TRACT, IN THE SOUTH LINE OF MAGNOLIA FARMS ADDITION, RECORDED IN CABINET G SLIDE 164, OPRECT;

THENCE N 89°18'16" E, ALONG THE SOUTH LINE OF SAID MAGNOLIA FARMS ADDITION, A DISTANCE OF 1773.74 FEET TO A 5/8" IRON ROD FOUND FOR CORNER, FROM WHICH THE SOUTHEAST CORNER OF SAID MAGNOLIA FARMS ADDITION BEARS N 89°18'16" E 20.57 FEET;

THENCE S 00°56'34" E, OVER AND ACROSS SAID MCGEATH TRACT, A DISTANCE OF 766.35 FEET TO A 5/8" IRON ROD WITH CAP STAMPED "TXRCS" SET FOR CORNER IN THE NORTH LINE OF SAID CALLED 3.2922 ACRE STATE OF TEXAS TRACT AND THE COMMON NORTH ROW LINE OF SAID F.M. HIGHWAY 664 OVILLA ROAD;

THENCE S 89°11'55" W, ALONG THE NORTH LINE OF SAID CALLED 3.2922 ACRE STATE OF TEXAS TRACT AND THE COMMON NORTH ROW LINE OF SAID F.M. HIGHWAY 664 OVILLA ROAD, A DISTANCE OF 17.39 FEET TO A 5/8" IRON ROD WITH CAP STAMPED "TXRCS" SET FOR CORNER;

THENCE S 43°59'13" W, ALONG THE NORTH LINE OF SAID CALLED 3.2922 ACRE STATE OF TEXAS TRACT AND THE COMMON NORTH ROW LINE OF SAID F.M. HIGHWAY 664 OVILLA ROAD, A DISTANCE OF 70.45 FEET TO A 5/8" IRON ROD WITH CAP STAMPED "TXRCS" SET FOR CORNER;

THENCE S 89°11'55" W, ALONG THE NORTH LINE OF SAID CALLED 3.2922 ACRE STATE OF TEXAS TRACT AND THE COMMON NORTH ROW LINE OF SAID F.M. HIGHWAY 664 OVILLA ROAD, A DISTANCE OF 1717.22 FEET TO THE POINT OF BEGINNING, AND CONTAINING 33.359 ACRES OF LAND MORE OR LESS.

I, TIMOTHY L. JACKSON, R.P.L.S. HEREBY CERTIFY TO WILLIAM C. BUSTER, TRUSTEE OF THE BUSTER FAMILY TRUST DATED FEBRUARY 16, 1998, WILLIAM R. BUSTER, MARK W. BUSTER, YVONNE, SINNEN, BETH K. STUART, JOE M. MCGEATH, ANN MCGEATH DUPONT, JOE M. MCGEATH AND WELLS FAARGO BANK, A NATIONAL ASSOCIATION, CO. TRUSTEES IF THE JOE MICHAEL MCGEATH TRUST AND THE ANN MCGEATH DUPONT TRUST, THAT THIS SURVEY WAS MADE ON THE GROUND, UNDER MY DIRECT SUPERVISION, ON THE DATE SHOWN, AND TO THE BEST OF MY KNOWLEDGE AND BELIEF IS A TRUE, CORRECT AND ACCURATE REPRESENTATION OF THE PROPERTY AS SURVEYED PER THE DESCRIPTION SHOWN HEREON. THE SIZE, LOCATION AND TYPE OF BUILDINGS AND VISIBLE IMPROVEMENTS ARE AS SHOWN.

THIS SURVEY SUBSTANTIALLY COMPLIES WITH THE CURRENT TEXAS SOCIETY OF PROFESSIONAL SURVEYOR'S STANDARDS AND SPECIFICATIONS FOR A CATEGORY 1A, CONDITION IV SURVEY.

TIMOTHY L. JACKSON
REGISTRATION NUMBER 5644

DATED: 03/09/2022
REVISED: 03/14/2022
REVISED: 03/15/2022

NOTES:

BEARING BASIS FOR THIS SURVEY IS TEXAS COORDINATE SYSTEM, NORTH CENTRAL ZONE 4202, NAD 83, PER GPS OBSERVATIONS

THE SURVEYOR DID NOT ABSTRACT THE SUBJECT PROPERTY FOR EASEMENTS OR ENCUMBRANCES THAT MAY AFFECT THE SUBJECT PROPERTY. THE SURVEYOR RELIED UPON THE TITLE COMMITMENT PROVIDED BY INDEPENDENCE TITLE ISSUED ON JANUARY 28, 2022, BY FIRST AMERICAN TITLE GUARANTY COMPANY OF NO. 2202147-SMDF, FOR RESEARCH OF EASEMENTS.

UTILITIES SHOWN HEREON ARE FROM OBSERVED EVIDENCE OF VISIBLE APPURTENANCES.

THE SUBJECT PROPERTY LIES WITHIN ZONE "X" - DEFINED AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN", ACCORDING TO THE THE FLOOD INSURANCE RATE MAP NO. 48139C0075F DATED JUNE 3, 2013, AS PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

THE FOLLOWING ITEMS SHOWN IN SCHEDULE B OF TITLE COMMITMENT PROVIDED BY INDEPENDENCE TITLE ISSUED ON JANUARY 28, 2022, BY FIRST AMERICAN TITLE GUARANTY COMPANY OF NO. 2202147-SMDF, APPEAR TO NOT HAVE AN AFFECT THE SUBJECT PROPERTY:

STATE OF TEXAS ROW: VOL. 496, PG. 212, OPRECT
SOUTHWESTERN BELL TELEPHONE COMPANY EASEMENT: VOL. 541, PG. 137, OPRECT
SOUTHWESTERN BELL TELEPHONE COMPANY EASEMENT: VOL. 544, PG. 649, OPRECT
HILL COUNTY ELECTRIC COOPERATIVE, INC. TERMS, CONDITIONS AND STIPULATIONS: VOL. 1362, PG. 554, OPRECT

THE FOLLOWING ITEMS SHOWN IN SCHEDULE B OF TITLE COMMITMENT PROVIDED BY INDEPENDENCE TITLE ISSUED ON JANUARY 28, 2022, BY FIRST AMERICAN TITLE GUARANTY COMPANY OF NO. 2202147-SMDF, APPEAR TO HAVE AN AFFECT THE SUBJECT PROPERTY:

RESTRICTIVE COVENANTS, INST. NO. 1733679, OPRECT

THE FOLLOWING ITEMS SHOWN IN SCHEDULE B OF TITLE COMMITMENT PROVIDED BY INDEPENDENCE TITLE ISSUED ON JANUARY 28, 2022, BY FIRST AMERICAN TITLE GUARANTY COMPANY OF NO. 2202147-SMDF, HAVE A DESCRIPTION THAT IS AMBIGUOUS IN NATURE, THEREFOR THE SURVEYOR IS UNABLE TO DETERMINE THE AFFECT, IF ANY, ON THE SUBJECT PROPERTY:

TP&L COMPANY EASEMENT: VOL. 399, PG. 135, OPRECT
SOUTHWESTERN BELL TELEPHONE COMPANY EASEMENT: VOL. 1827, PG. 1535, OPRECT

- LEGEND:**
- ⊕ ELECTRIC PULLBOX
 - ⊗ GAS MARKER
 - ⊙ POWER POLE
 - ⊕ PULLBOX (UNKNOWN)
 - ⊙ STORM DRAIN MANHOLE
 - ⊕ TELEPHONE MARKER
 - ⊙ TELEPHONE MANHOLE
 - ⊙ TRAFFIC SIGNAL
 - ⊙ WATER VALVE
 - FENCE LINE (VARIOUS TYPES)
 - OVERHEAD UTILITY LINES
 - ⊕ 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "TXRCS" SET
 - OPRECT OFFICIAL PUBLIC RECORDS, ELLIS COUNTY, TEXAS
 - (XXX) INDICATE RECORD OR DEED CALLS
 - ROW RIGHT-OF-WAY

LINE	BEARINGS	DISTANCE
L1	S 89°11'55" W	17.39
L2	S 43°59'13" W	70.45

PROJECT NO. 2082

LAND TITLE SURVEY
33.359 ACRES

SITUATED IN THE
M. CRASP SURVEY
ABSTRACT NO. 264
AND THE
M. MCDERMOTT SURVEY
ABSTRACT NO. 743
CITY OF GLENN HEIGHTS
ELLIS COUNTY, TEXAS

TEXAS REALITY CAPTURE & SURVEYING, LLC
P.O. BOX 252
WAXAHACHE, TEXAS 75168
409.618.0338
TBPLS FIRM NO. 10194359

EXHIBIT 2

PLANNED DEVELOPMENT DISTRICT REGULATIONS

UHL Road Crossing

City of Glenn Heights, Texas

_____, 2025

Development Regulations

Table of Contents

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ORDINANCE**

PART 6. PERMITTED USES

PART 7. GENERAL DESIGN STANDARDS

PART 1. PURPOSE AND INTENT

1.01 General

The Planned Development district is a mixed-use development located in the heart of the City, convenient to major roadways without sacrificing the beauty of the setting, and purposefully designed for high quality rental housing along that is appointed with luxury amenities and situated among commercial and open-space recreational uses that blend a high quality lifestyle.

The rental community may be set for the community, has been conceived as a luxury rental community up 25 units/acre with high end amenities such as a resort style swimming pool, fully appointed fitness center, other recreational areas and business center inside one or more common buildings that may also contain an event room, children's play area and a conference room. Purposeful design may include giving each rental unit a balcony or a patio and well landscaped courtyards throughout the property that will feel parklike in its setting, with the overall goal of fostering and maintaining high quality standards in the community.

Abutting Ovilla Road may be two or more lots for future commercial business. These lots may be developed to be compatible uses for the residential community to be located behind this commercial frontage and to provide walkability to and from the residential community. Compatible uses could be restaurants, urgent care or retail uses. Such lots may also feature mixed uses of commercial and multifamily residential.

The total acreage of this Planned Development is 33.3559 +/- acres (Property). The Development shall consist of two (2) districts. District 1, being land in-between District 2 and Ovilla Road, may include Retail and/or neighborhood services uses. District 2 will be approximately 17 acres of land that, in addition to the uses allowed in District 1, may include multifamily development with multiple buildings up to three stories with common open space areas and may feature common amenities such as a club house, recreational facilities, and landscaping, as well as self-storage.

1.02 Planned Development District

The Planned Development District, as defined under the City of Glenn Heights' Comprehensive Zoning Ordinance, is intended to accommodate multiple family dwellings as well as retail and neighborhood services and open space. Except as set forth in these Regulations, the Planned Development District will be planned and developed in accordance with planned development provisions of the City of Glenn Heights' Comprehensive Zoning Ordinance including, without limitation, Exhibit A to Chapter 14 and the City's Subdivision Regulations contained in Chapter 10).

PART 2. EXHIBITS

The attached exhibits are incorporated in these regulations in their entirety. The exhibits are as follows:

Exhibit A:	Provisional comparisons
Exhibit B:	District Map
Exhibit C:	Landscape and Screening
Exhibit D:	MF masonry requirements

PART 3. DEFINITIONS

- A. The term "Multifamily Development" as described in this PD shall refer to a multi-family dwelling, or a complex of dwellings, consisting of up to 25 units/acre.

PART 4. ALLOCATION OF LAND USES

Table 1 — Estimated Land Use Allocation

District	Land Use	Est. Acres	Est. Percentage of PD
District 1	Commercial	16.3559	49%
District 2	Commercial/Multifamily/Storage	17.0000	51%
	Total PD Acres & Percentages	33.3559	100%

PART 5. RELATIONSHIP TO CITY OF GLENN HEIGHTS' COMPREHENSIVE ZONING ORDINANCE

In the event of a conflict or inconsistency between the written the provisions of the enabling Ordinance that incorporates these Regulations and the provisions of the City of Glenn Heights' Comprehensive Zoning Ordinance, the provisions and intent of the enabling Ordinance No. O-XX-25 shall control. In the event of a conflict or inconsistency between the written requirements of this ordinance and any information contained on the attached Concept Plan, the written requirements of the enabling Ordinance No. O-XX-25 and these Regulations shall control. These Regulations, together with the applicable provisions of the enabling Ordinance No. O-XX-25 and the applicable provisions of the City of Glenn Heights' Comprehensive Zoning Ordinance and Subdivision Regulations, shall constitute all the development standards that are applicable to the Subdivision. Any approved Preliminary or Final Subdivision Plat must substantially conform to the applicable approved Concept Plan.

PART 6. PERMITTED USES

6.01 District 1. The uses permitted by right in District 1 of the PD shall be limited to those allowed under the City's current Commercial base zoning district as well as those listed below. All uses developed will follow the City's design and standards for those uses, except as modified by this ordinance.

The following uses are permitted by right in addition to those allowed under the base zoning district specified above:

- a) Retail Store, General
- b) Retail
- c) Urgent Care or Medical Office
- d) Automobile Repair, Minor
- e) Carwash, Automated

- f) Food/Convenience Store
- g) Grocery Store
- h) Multi-Use Entertainment Complex
- i) Restaurant, drive-in
- j) Restaurant, drive-thru
- k) Restaurant, Incidental or Accessory
- l) Office (Include Medical)
- m) Civic Use
- n) Community Facilities
- o) Shopping Center
- p) New Tire Sales/Service

The following uses are permitted under the base zoning district specified above with Specific/ Special Use Permit:

- a) Liquor store
- b) Vape / Smoke Shop
- c) Automobile Repair, Major
- d) Terminal, bus or Baggage and transfer
- e) Storage, Warehouse, Wholesale and mini warehouse
- f) Any use that is not specified above in the list of uses permitted by right

6.02 District 2. The uses permitted by right in District 2 of the PD shall include all of the uses allowed in District 1 as well as the additional uses listed below. All uses will follow the City's design and standards for those uses, except as modified by this ordinance.

The following uses are permitted by right in addition to those allowed in District 1:

- a) Multifamily
- b) Warehouse, self-storage / Mini

PART 7. GENERAL DESIGN STANDARDS

7.01 City Building Permits. All development of and construction within the Planned Development will be subject to obtaining building permits from the City in accordance with the City's applicable rules and regulations governing such permits.

7.02 Standalone development. This development will be constructed as a stand-alone project fully contained within the initial 33.359 acre tract. There will be no access from any components of this

project to the Magnolia Farms community to the North, including to that community's private alleyway, which runs just above the northern boundary of this Planned Development.

7.03 District 1 Standards

- a) All future development in District 1 shall be subject to the City of Glenn Heights' development code that is in place on the date of approval of this Ordinance including, but not limited to, regulations regarding height, lot size, parking, landscape, screening, lighting, and driveway spacing, except as modified herein. For clarity, a copy of those based standards shall be attached to this document and subject to any modifications listed below.
- b) Building Setbacks – Within this development, the required setbacks from the property line are modified as follows for District 1:
 - 1. From Ovilla Road or Uhl Road Ultimate Right of Way: 30 feet
 - 2. From adjacent property within the development: 10 feet
 - 3. From the Ovilla Rd Baptist Church property: 15 feet
- (c) Landscape buffer – 20 feet from both Uhl & Ovilla
- (d) Sidewalks - The minimum width of any sidewalk parallel and adjacent to S UHL RD shall be five feet (5').
- (e) The development shall construct a barrier along the north side of its property to screen the existing residential homes from the new development. This barrier will include a pre-cast concrete screening wall at least 8 feet tall and trees planted at 30-foot intervals to provide additional screening above the wall.

7.04 District 2 Standards for Multifamily development

- a) Density — Maximum of twenty-five (25) units an acre
- b) Total units – Maximum of 350 total multifamily units are permitted in District 2
- c) Unit Floor Area - A Multifamily Development dwelling unit shall have a minimum square feet of floor area, excluding common corridors, basements, open and screened porches or decks, and garages as follows:

Studio units will be a minimum of 550 square feet.

One-bedroom units will be a minimum of 700 square feet.

Two-bedroom units will be a minimum of 850 square feet.

Three-bedroom units will be a minimum of 1000 square feet.

- d) Maximum Lot Coverage/Minimum Open Space— The multifamily site will include a minimum of 20% open space, which is defined as any space not covered by building foundation or paving/parking.
- e) Building Separation — There shall not be a minimum building separation other than as stipulated in the Building and Fire codes.
- f) Building Length - Buildings shall not exceed two hundred fifty feet (250') horizontally.
- g) Parking - Parking regulations as provided shall apply to Multifamily Development as follows:
 - 1. A minimum parking ratio of one space per studio unit, 1.25 space per 1-bedroom unit, 2.0 spaces per 2-bedroom unit, and 2.5 spaces per 3-bedroom unit; and
 - 2. An additional one guest space for every 15 units
 - 3. No enclosed or covered spaces are required, but are permitted; and
 - 4. No screening of parking shall be required.
 - 5. Each standard off-street surface parking space shall be in accordance with the design standards for space size and design as set forth below.
 - 6. Standard: Nine feet by eighteen feet (9' x 18'), exclusive of access drives and aisles.
- h) Maximum Height — the Multifamily Development shall not exceed 3 stories in height for multifamily residential building. The community clubhouse and/or leasing office shall not exceed 2 stories in height. No structure will exceed 45 feet in height.
- i) Accessory Buildings — the accessory buildings, including any item attached to its roof, shall not exceed 20' at its tallest point.
- j) Sidewalks - The minimum width of any sidewalk parallel and adjacent to head-in parking spaces shall be five feet (5').
- k) Minimum Exterior Construction Standards — For the individual multifamily buildings that are nearest to and directly visible from Ovilla and Uhl Roads, the exterior wall elevations of said building that are parallel to Ovilla and Uhl Roads shall be constructed of at least sixty percent (60%) masonry construction to include brick, stone, granite, marble, or stucco; excluding doors, windows, and balconies. Buildings and structures that are not the nearest building to Ovilla or Uhl Roads shall have no masonry restriction. Exhibit D illustrates which wall elevations will include masonry construction.
- l) Refuse Facilities —
 - 1. If a multifamily development provides its residents with valet trash service, the development may be served by a single trash compactor and recycling receptacle. These facilities will be subject to Glenn Heights' refuse facility screening requirements.
 - 2. If the developer does not provide a valet trash service, the following standards will apply:
 - i. Multifamily buildings shall be located within two hundred feet (200') to refuse facilities; and
 - ii. Multifamily development shall have a total of at least 6 refuse containers located generally around the site for easy access from each residential building.

These facilities will be subject to Glenn Heights' current refuse facility screening requirements.

m) Landscape and Screening Requirements — The following requirements apply to all Multifamily development within the project:

1. The Multifamily development will incorporate drought tolerant, native species into its landscape plan. Tree species may include live oak, red oak, cedar elm, or other similar species if approved by the Planning Director.
2. The Multifamily development shall construct a barrier along the north side of its property to screen the existing residential homes from the new development. This barrier will include a pre-cast concrete screening wall at least 8 feet tall and trees planted at 30-foot intervals to provide additional screening above the wall.
3. Perimeter Landscaping – The following landscape buffers are required as measured from the property line:
 - i. A minimum 20-foot-wide landscape buffer is required along any portion of the property bordering either Ovilla or Uhl roads.
 - ii. A minimum 10-foot-wide landscape buffer is required along the northern boundary of the property bordering the Magnolia Farms residential development.
 - iii. A minimum 5-foot-wide landscape buffer is required along all property lines adjacent to other commercial lots as an additional 5-foot-wide landscape buffer is required on the commercial lot to create a 10-foot-wide area in total.
 - iv. The western boundary of this property, which borders property currently owned by Ovilla Heights Baptist Church, requires a 5-foot-wide landscape buffer.
4. The following requirements apply only to the specified landscape buffers:
 - i. Northern boundary landscape buffer: This area will require trees to be planted with a maximum spacing of 30 feet. Trees in this area will have a minimum caliper of 3 inches and minimum height of 10 feet at the time of planting.
 - ii. Ovilla Road boundary landscape area: Trees in this area will have a minimum caliper of 3 inches and minimum height of 10 feet at the time of planting.

n) Multifamily Development Setbacks – The multifamily development site will be subject to the following building setback requirements:

1. Rear building setback (as measured from the northern property line, adjacent to Magnolia Farms residential development): 72.5 feet from the northern property line.
 2. Ovilla Road building setback: 30 feet
- o) Multifamily Building Orientation – Any primary residential buildings exceeding 25 feet in height constructed within 100 feet of the northern property line will be oriented in a north/south fashion, meaning that the shorter portion of the buildings will be oriented north/south while the longer building edges will be oriented east/west.
- p) Multifamily Site Plan – a draft concept plan for the multifamily use is included as Exhibit 1. This concept plan is not binding and is only to illustrate certain features of the proposed zoning and is not intended to establish a site plan to be developed. For avoidance of doubt, any and all buildings and features may change in size and orientation subject to the PD’s requirements. Any multifamily development will be required to complete the city’s formal Site Plan approval process by submitting a proposed plan that adheres to the PD’s zoning requirements for the city’s review and approval.

7.05 District 2 Standards for Self-Storage development

- a) Total Size — Self Storage use in District 2 may not exceed a total of 4.5 acres.
- b) Maximum Lot Coverage — Self-storage development site shall be limited to a maximum of 90% lot coverage, which shall be calculated by summing all building foundations, pavement, and parking lots. Notwithstanding this maximum allowance, the site’s required Perimeter Landscaping Areas may not be reduced below the requirements stated herein.
- c) Maximum Height — the Self-Storage Development shall not exceed 20 feet in height.
- d) Landscape and Screening Requirements — The following requirements apply to all Self-storage development within the property:
1. The Self-Storage development will incorporate drought tolerant, native species into its landscape plan. Tree species may include live oak, red oak, cedar elm, or other similar species if approved by the Planning Director
 2. The Self-Storage development shall construct a barrier along the north side of its property to screen the existing residential homes from the new development. This barrier will include a pre-cast concrete screening wall at least 8 feet tall and trees planted at regular intervals to provide additional screening above the wall.
 3. Perimeter Landscaping Areas – A minimum 10-foot-wide landscape area is required along all property lines except those adjacent to commercial lots, where a 5-foot-wide landscape area is required

4. The following requirements apply only to the specified landscape areas:
 - i. Northern boundary landscape area: This area will require trees to be planted with a maximum spacing of 30 feet. Trees in this area will have a minimum caliper of 3 inches and minimum height of 10 feet at the time of planting.

Exhibit A

**Exhibit "A-1"
UHL Crossing**

District Comparisons/ Deviation District 2

MF

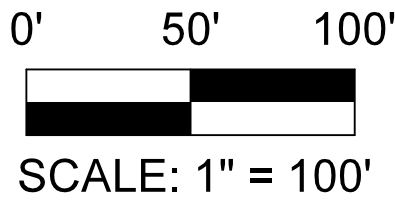
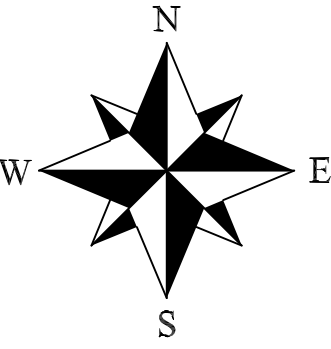
**Uhl Crossing
Explanation**

Density	Max 14 Units Per Acre	Max 25 Units Per Acre	25 units per acre is considered a suburban MF density
Unit Floor Area	Studio = 500 sq ft One bedroom = 800 sq ft two bedroom = 950 sq ft three bedroom = 1,100 sq ft	Studio = 550 sq ft One bedroom = 700 sq ft two bedroom = 850 sq ft three bedroom = 1,000 sq ft	
Maximum Lot Coverage	60%	80%	
Parking	2 enclosed spaces = 1 bedroom 2 enclosed spaces & one covered space = 2 & 3 bedrooms	1 space per studio unit; 1.25 spaces per single bedroom unit; 2 spaces per two-bedroom unit; 2.5 spaces per three-bedroom unit; Add'1 space per 15 units. Enclosed or covered spaces optional	The parking standard would result in the development being grossly overparked
Site Amenities	None Required	May include resort style swimming pool, fitness center, business center, community room, BBQ grills and/or children's playground	MF included in Uhl Crossing will be fully appointed rental community with amenities that rival the nicest communities in DFW

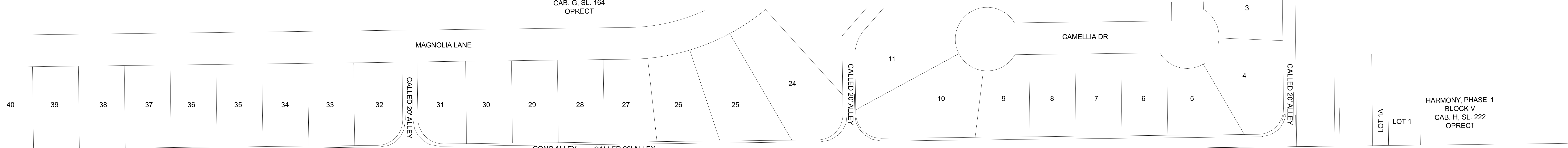
Max Height	Max Height of 2.5 stories or 35'	Max Height of 3 stories / 45'	
Accessory Building Height	Max Height of 15'	Max Height of 20'	
Unit Mix	Studio = max of 15% Three-bedroom = max of 10%	No change	
Exterior Construction	100% Masonry	60% Masonry on facades closest to and facing both Ovilla and Uhl	100% masonry can look institutional and we prefer to use materials of high quality and designed in a way that is beautiful
Fencing	6 ft Masonry wall adjacent to residential area	8 ft. masonry screening fence required along northern boundary adjacent to Magnolia Farms community.	No direct access to Magnolia Farms neighborhood from this development
Refuse Facilities	All units to be within 200' of a refuse facility	If Valet trash service is not provided, all buildings to be located within 200' of a refuse facility	Valet trash service will likely be provided

Landscape	90% of the street yard and 20% of the total lot area shall be devoted to a combination of landscaping and usable open space	20% of the total lot area shall be devoted to a combination of landscaping and usable open space.	Development incorporates significant screening and landscape buffer along norther boundary, including trees spaced at 30' and planted with a minimum height of 10'
Building size	Buildings shall not exceed 200' in length	Maximum building length 250'	

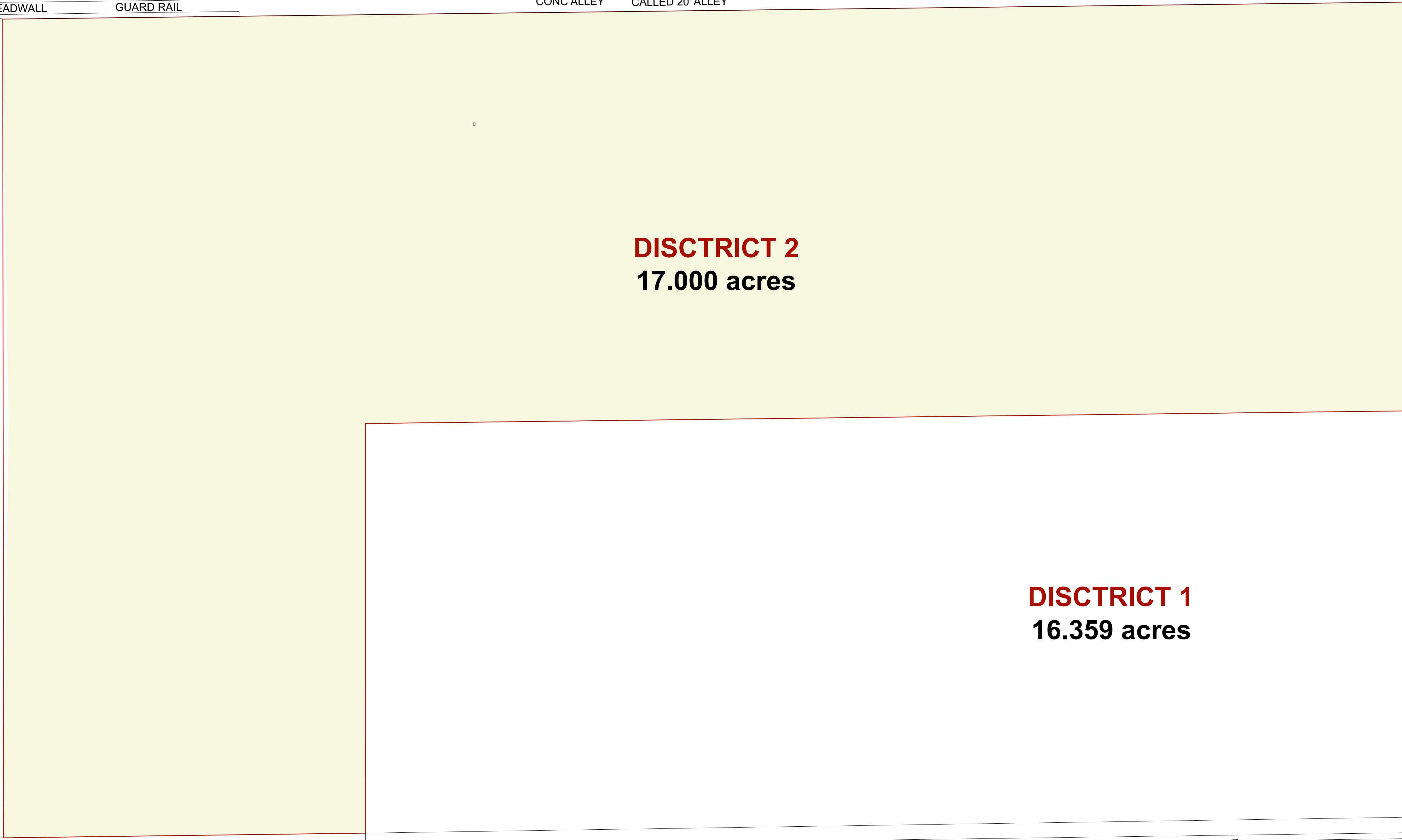
EXHIBIT B: DISTRICT MAP



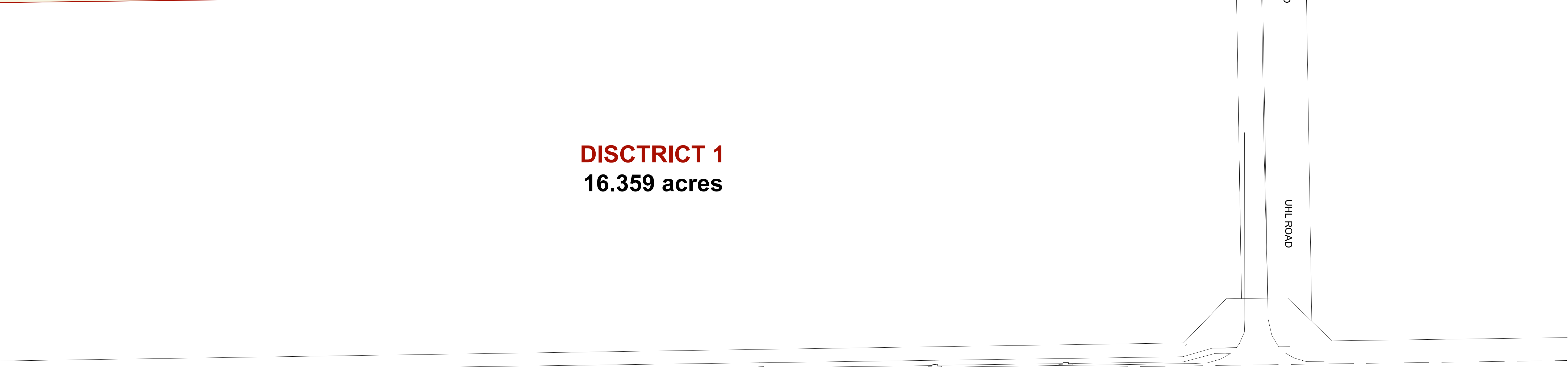
MAGNOLIA FARMS
ADDITION
CAB. C. SL. 164
OPRECT



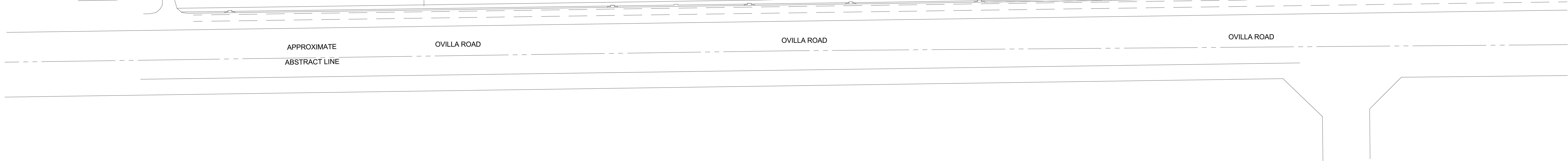
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BLOCK V
CAB. H. SL. 222
OPRECT

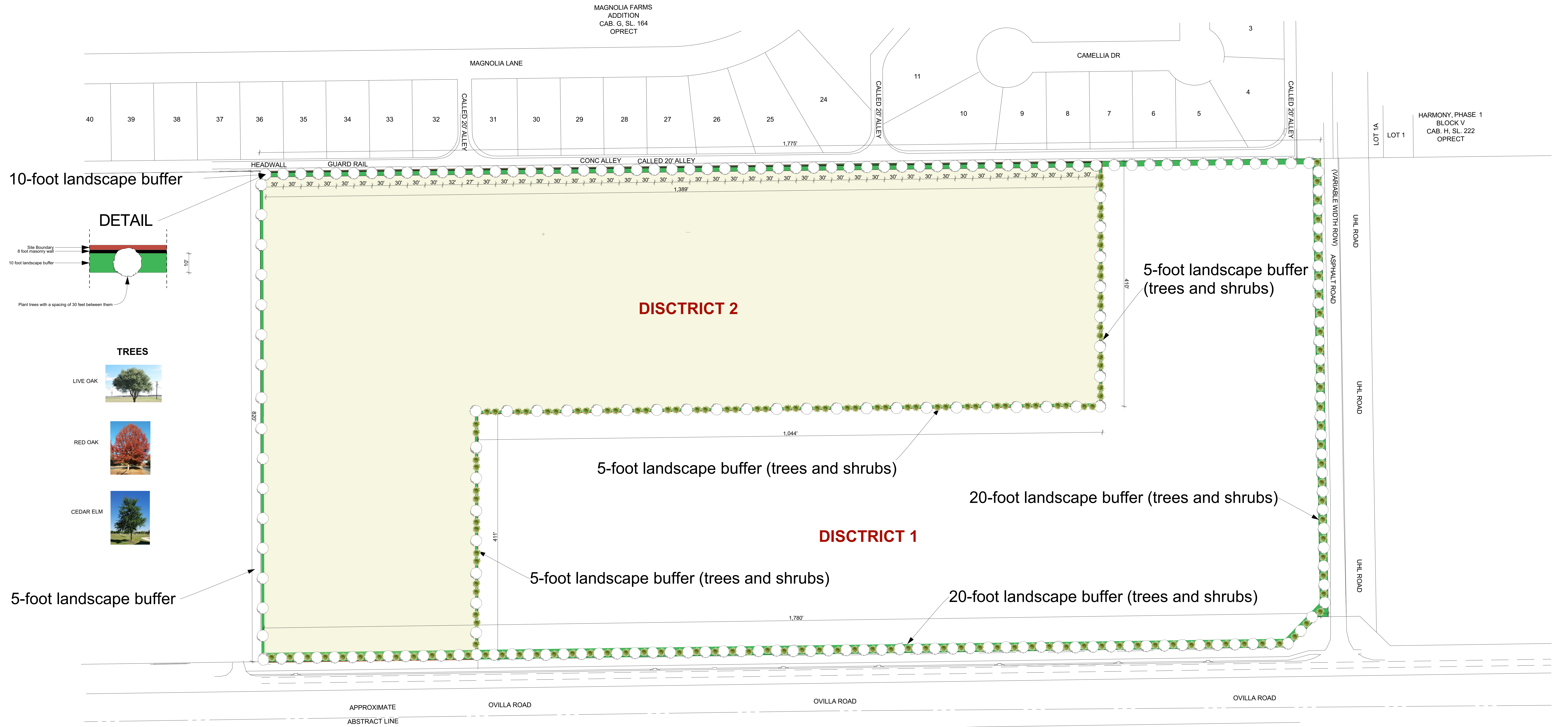
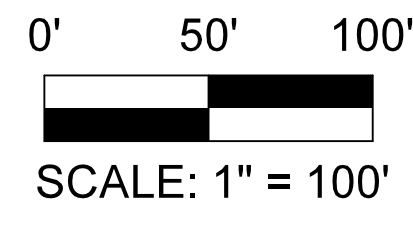
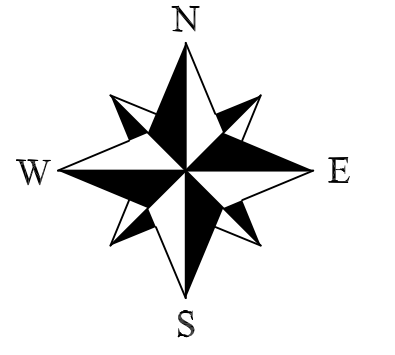


DISTRICT 2
17.000 acres



DISTRICT 1
16.359 acres





Glenn Heights

Site Plan

EXHIBIT D

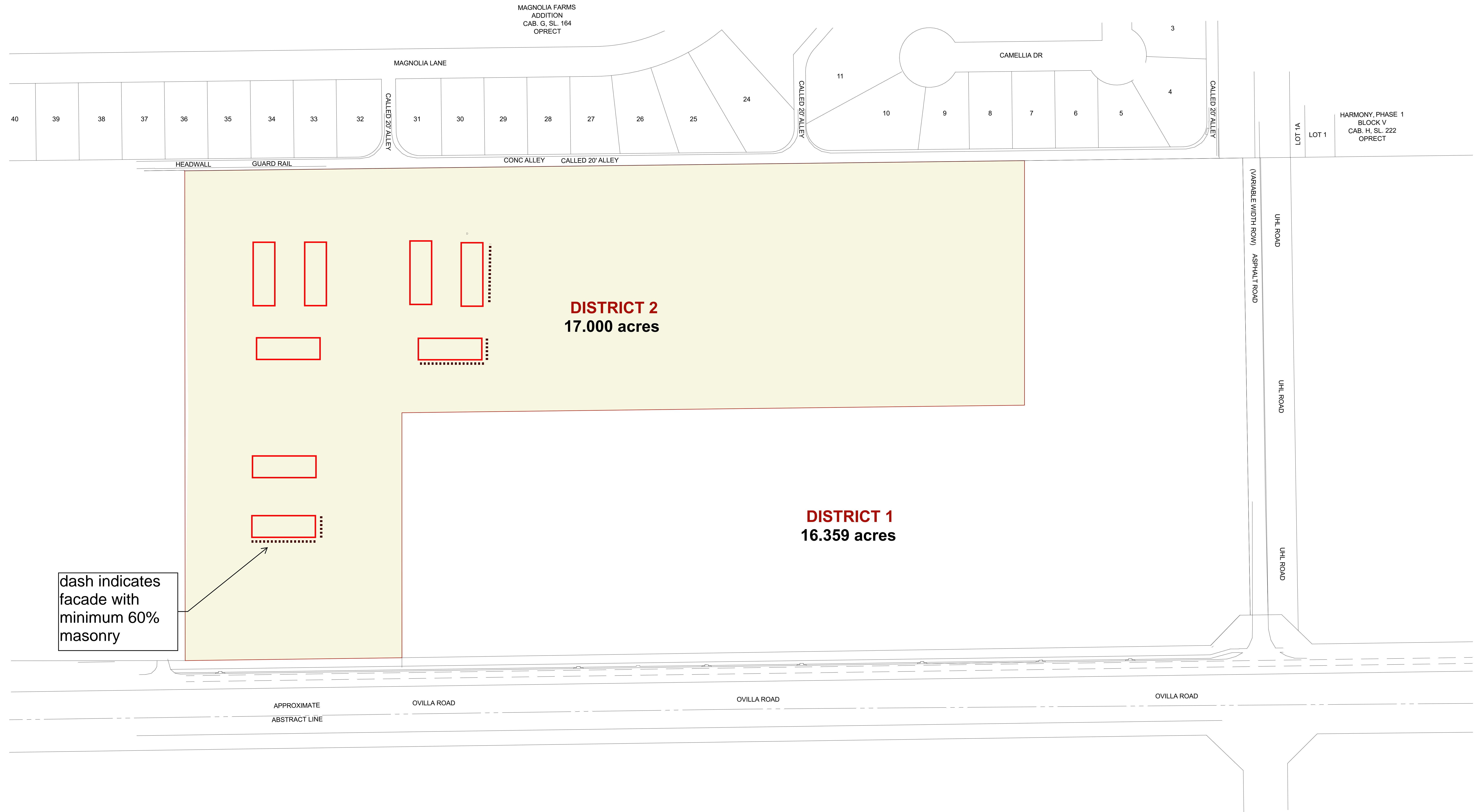
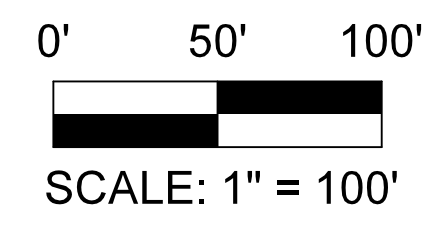
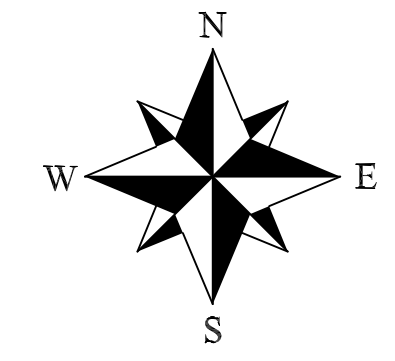
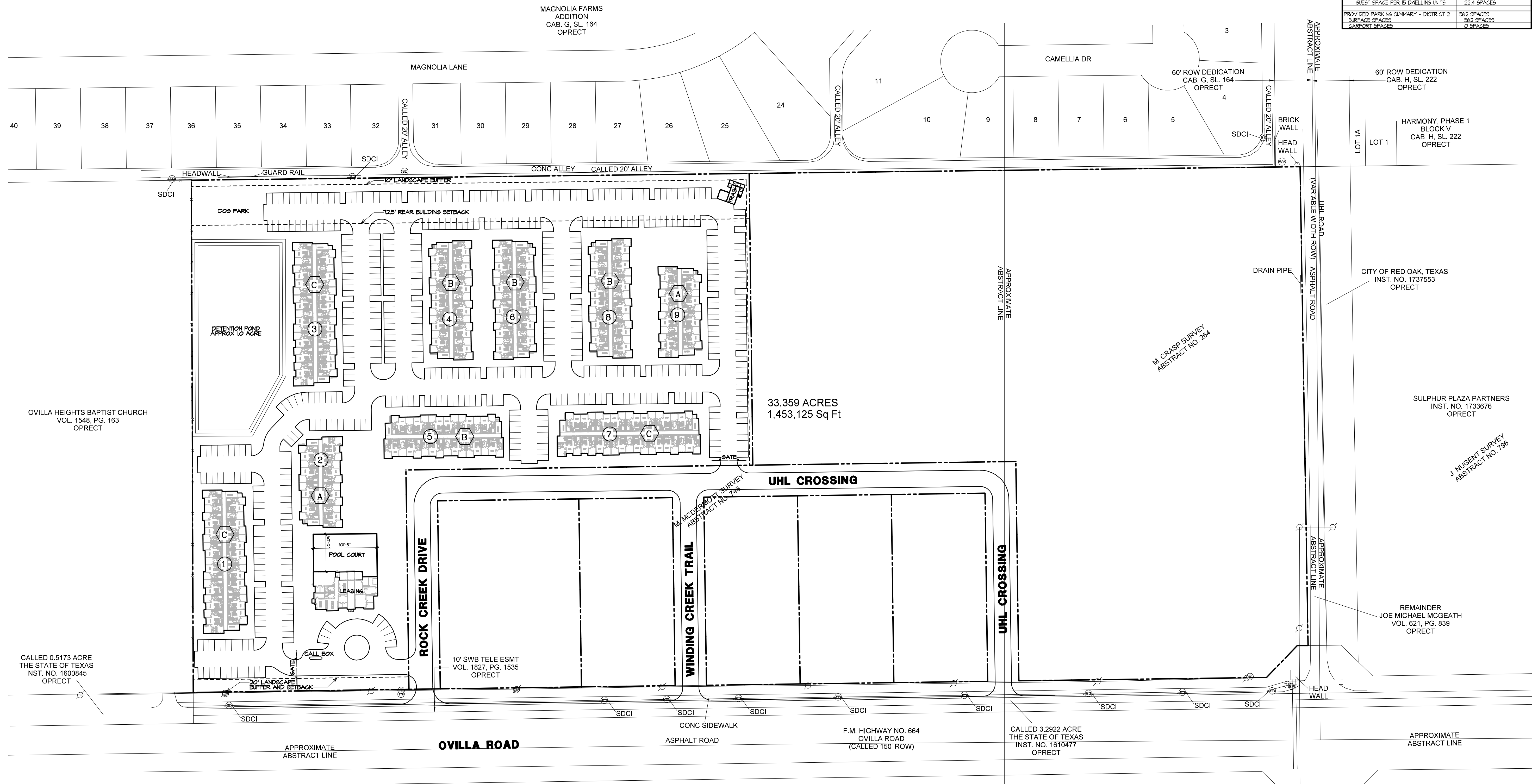


EXHIBIT 3 : CONCEPT PLAN

SITE DATA	
ZONING (PD-XXX)	TOTAL
GROSS SITE AREA	1,453,125 SF / 33.359 ACRES
DISTRICT 1 - COMMERCIAL	338,809 SF / 7.734 ACRES
DISTRICT 2 - MULTIFAMILY	1,114,316 SF / 25.625 ACRES
LOT COVERAGE - DISTRICT 2	
BUILDINGS	
DRIVES AND PARKING	
MULTIFAMILY DWELLING UNITS (866 SF AVG)	326 UNITS
ONE BEDROOM UNITS (700 SF MIN)	142 UNITS
TWO BEDROOM UNITS (850 SF MIN)	124 UNITS
THREE BEDROOM UNITS (1,000 SF MIN)	15 UNITS
REQUIRED PARKING SUMMARY - DISTRICT 2	
TOTAL REQUIRED PARKING	562 SPACES
15 SPACES PER ONE BED UNIT	214 SPACES
20 SPACES PER TWO BED UNIT	250 SPACES
25 SPACES PER THREE BED UNIT	378 SPACES
1 GUEST SPACE PER 15 DWELLING UNITS	21.4 SPACES
PROVIDED PARKING SUMMARY - DISTRICT 2	
SURFACE SPACES	562 SPACES
GAZON SPACES	0 SPACES



THIS DRAWING HAS BEEN PREPARED UNDER THE DIRECT SUPERVISION OF DANNY P. BAKER, TEXAS REGISTRATION #21401 AND IS CONSIDERED TO BE **INCOMPLETE**. THIS DRAWING MAY NOT BE USED FOR REGULATORY APPROVAL, PERMIT, OR CONSTRUCTION WITHOUT THE ARCHITECT'S OFFICIAL SEAL.

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Project No. **25000**
 Drawn By: **DPB**
 Date: **6/19/2025**

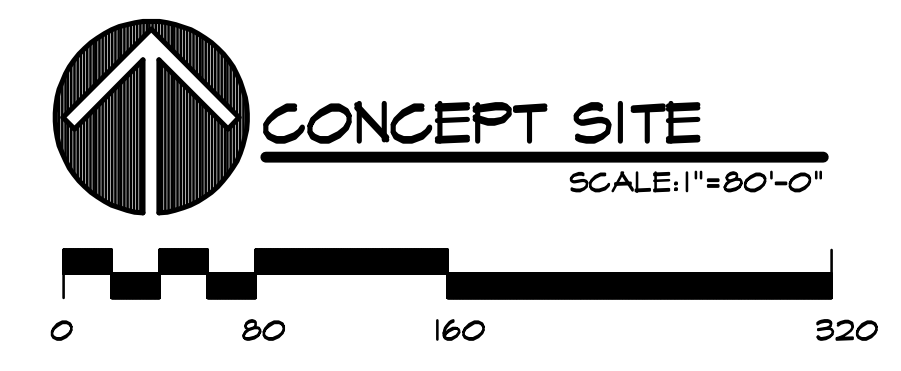
ISSUE FOR PERMIT: -
 ISSUE FOR CONSTRUCTION: -

Revisions: -

AURA GLENN HEIGHTS
 GLENN HEIGHTS, TEXAS
TRIG TRINISIC
 RESIDENTIAL GROUP

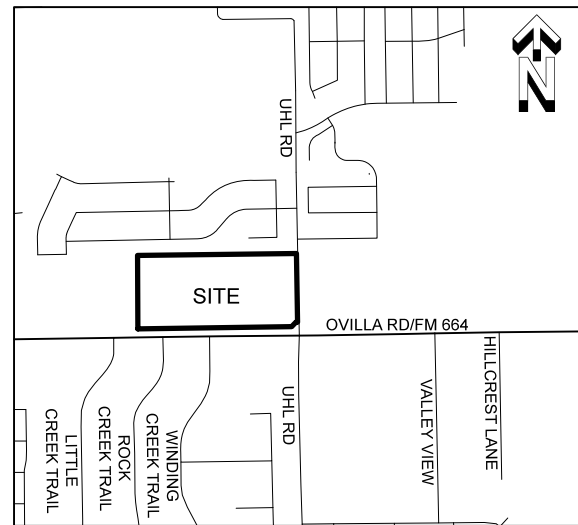
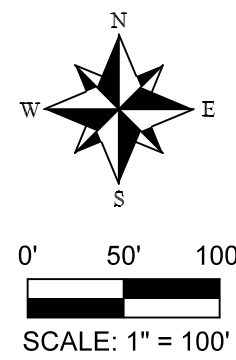
Womack + Hampton
 ARCHITECTS, L.L.C.
 438 Oak Lawn Ave., Suite 50
 Dallas, Texas 75209
 Phone: (214) 252-0600
 Fax: (214) 252-0680

This concept plan is not binding and is only to illustrate certain features of the proposed zoning and is not intended to establish a site plan to be developed. For avoidance of doubt, any and all buildings and features may change in size and orientation subject to the PD's requirements. Any multifamily development will be required to complete the city's formal Site Plan approval process by submitting a proposed plan that adheres to the PD's zoning requirements for the city's review and approval.



PLOT DATE: 6/19/2025, PLOT TIME: 5:09 PM PATH: \\H:\25000\Potential Projects\Trove Glenn Heights\25000 Trove Glenn Heights\boards\etc

Sheet Number:

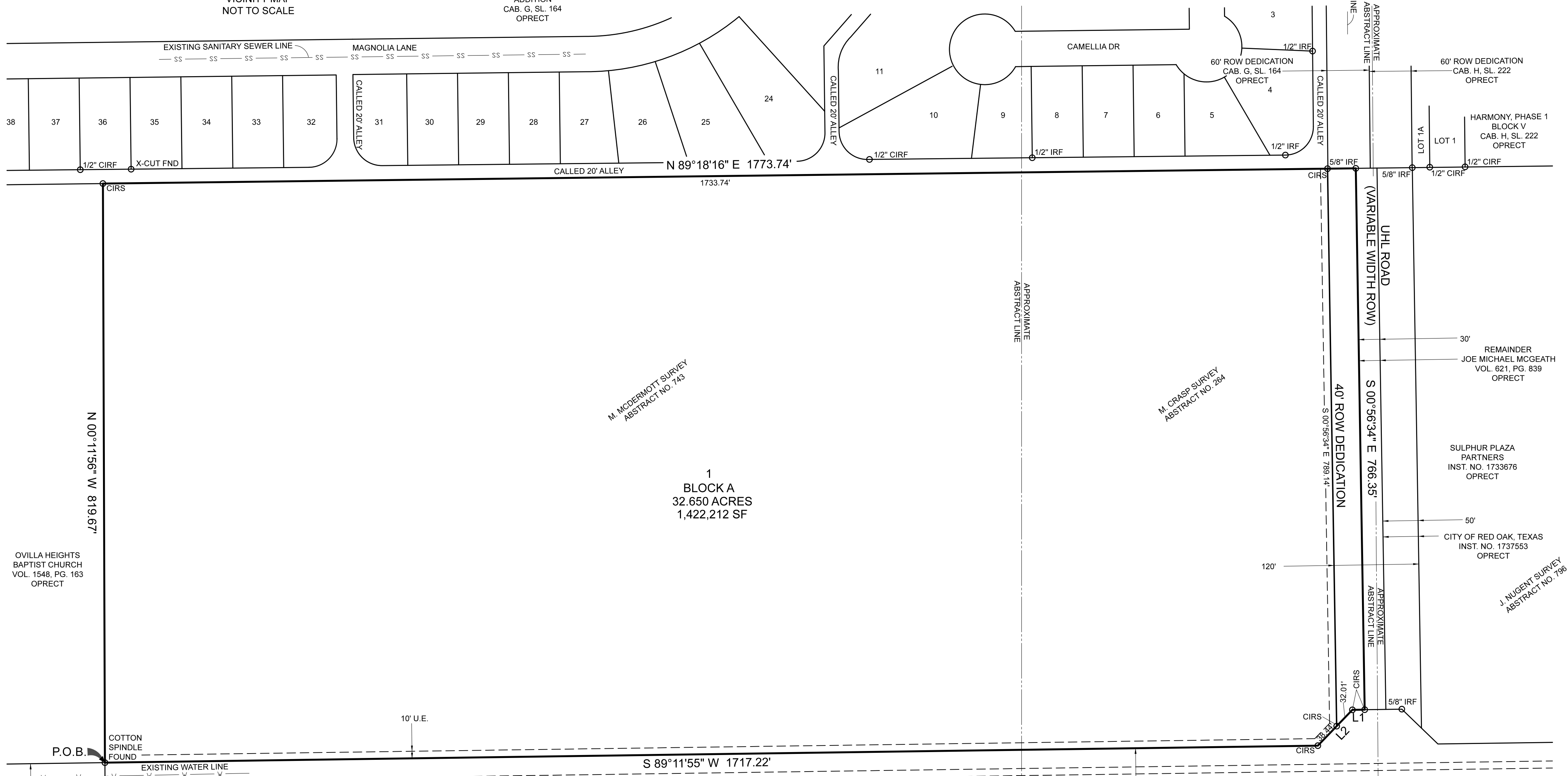


VICINITY MAP
NOT TO SCALE

LINE	BEARING	DISTANCE
L1	S 89°11'55" W	17.39'
L2	S 43°59'13" W	70.45'

MAGNOLIA FARMS
ADDITION
CAB. G. SL. 164
OPRECT

ALL LOTS MONUMENTED WITH A 5/8" IRON ROD WITH CAP STAMPED
"TXRCS" UNLESS OTHERWISE NOTED.



OVILLA HEIGHTS
BAPTIST CHURCH
VOL. 1548, PG. 163
OPRECT

CALLLED 0.5173 ACRE
THE STATE OF TEXAS
INST. NO. 1600845
OPRECT

APPROXIMATE
ABSTRACT LINE

10' SWB TELE ESMT
VOL. 1827, PG. 1535
OPRECT

F.M. HIGHWAY NO. 664
OVILLA ROAD
(CALLED 150' ROW)

CALLLED 3.2922 ACRE
THE STATE OF TEXAS
INST. NO. 1610477
OPRECT

PRELIMINARY PLAT
UHL CROSSING

BEING A 33.359 ACRE ADDITION
IN THE
M. CRASP SURVEY, ABST. NO. 264
AND THE
M. McDERMOTT SURVEY, ABST. NO. 743
CITY OF GLENN HEIGHTS,
ELLIS COUNTY, TEXAS

24
LITTLE CREEK ESTATES
CAB. A, SL. 709
OPRECT

1

ROCK CREEK DRIVE
(CALLED 60' ROW)

17
LITTLE CREEK ESTATES
PHASE II
CAB. B, SL. 13
OPRECT

1

WINDING CREEK TRAIL
(CALLED 60' ROW)

49
LITTLE CREEK ESTATES
PHASE III
CAB. B, SL. 45
OPRECT

LOT 1
LORD OF LIFE
LUTHERAN CHURCH
CAB. F, SL. 28
OPRECT

OWNERS:
BUSTER FAMILY TRUST
ATTN: MARK BUSTER
1399 W. COLTON AVE, SUITE #5
REDLANDS, CA 92374
469.708.6833

SURVEYOR:
TEXAS REALTY CAPTURE &
SURVEYING, LLC.
P.O. BOX 252
WAXAHACHIE, TEXAS 75168
469.518.0338
TBPLS FIRM NO 10194359

STATE OF TEXAS:
COUNTY OF ELLIS: KNOW ALL MEN BY THESE PRESENTS:

THAT WILLIAM C. BUSTER IS THE SOLE OWNER OF A TRACT OF LAND SITUATED IN THE M. CRASP SURVEY, ABSTRACT NO. 264, AND THE M. MCDERMOTT SURVEY, ABSTRACT NO. 743, CITY OF GLENN HEIGHTS, ELLIS COUNTY, TEXAS AND BEING A PORTION OF THAT TRACT OF LAND DESCRIBED IN DEED TO WILLIAM C. BUSTER, TRUSTEE OF THE BUSTER FAMILY TRUST, RECORDED IN INSTRUMENT NO. 2213571, OF THE OFFICIAL PUBLIC RECORDS OF ELLIS COUNTY, TEXAS (OPRECT) AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A COTTON SPINDLE FOUND FOR NORTHWEST CORNER OF A CALLED 3.2922 ACRE TRACT OF LAND DESCRIBED IN DEED TO THE STATE OF TEXAS, RECORDED IN INSTRUMENT NO. 1610477, OPRECT AND THE COMMON NORTHEAST CORNER OF A CALLED 0.5173 ACRE TRACT OF LAND DESCRIBED IN DEED TO THE STATE OF TEXAS, RECORDED IN INSTRUMENT NO. 1600845, OPRECT AND IN THE EAST LINE OF THAT TRACT OF LAND DESCRIBED IN DEED TO OVILLA HEIGHTS BAPTIST CHURCH, RECORDED IN VOLUME 1548, PAGE 163, OPRECT AND IN THE NORTH RIGHT-OF-WAY (ROW) LINE OF F.M. HIGHWAY NO. 664/OVILLA ROAD (CALLED 150' ROW);

THENCE N 00°11'56" W, ALONG THE WEST LINE OF SAID BUSTER TRACT AND THE COMMON EAST LINE OF SAID OVILLA HEIGHTS BAPTIST CHURCH TRACT, A DISTANCE OF 819.67 FEET TO A 5/8" IRON ROD WITH CAP STAMPED "TXRCS" SET FOR THE NORTHWEST CORNER OF SAID BUSTER TRACT AND THE COMMON NORTHEAST CORNER OF SAID OVILLA HEIGHTS BAPTIST CHURCH TRACT, IN THE SOUTH LINE OF MAGNOLIA FARMS ADDITION, RECORDED IN CABINET G SLIDE 164, OPRECT;

THENCE N 89°18'16" E, ALONG THE NORTH LINE OF SAID BUSTER TRACT AND THE COMMON SOUTH LINE OF SAID MAGNOLIA FARMS ADDITION, A DISTANCE OF 1773.74 FEET TO A 5/8" IRON ROD FOUND FOR THE NORTHEAST CORNER OF SAID BUSTER TRACT, FROM WHICH THE SOUTHEAST CORNER OF SAID MAGNOLIA FARMS ADDITION, BEARS N 89°18'16" E 20.57 FEET;

THENCE S 00°56'34" E, ALONG THE EAST LINE OF SAID BUSTER TRACT, A DISTANCE OF 766.35 FEET TO A 5/8" IRON ROD WITH CAP STAMPED "TXRCS" SET FOR THE SOUTHEAST CORNER OF SAID BUSTER TRACT, IN THE NORTH LINE OF SAID CALLED 3.2922 ACRE STATE OF TEXAS TRACT AND THE COMMON NORTH ROW LINE OF SAID F.M. HIGHWAY 664/OVILLA ROAD;

THENCE S 89°11'55" W, ALONG THE SOUTH LINE OF SAID BUSTER TRACT AND THE COMMON NORTH LINE OF SAID CALLED 3.2922 ACRE STATE OF TEXAS TRACT AND THE COMMON NORTH ROW LINE OF SAID F.M. HIGHWAY 664/OVILLA ROAD, A DISTANCE OF 17.39 FEET TO A 5/8" IRON ROD WITH CAP STAMPED "TXRCS" SET FOR CORNER;

THENCE S 43°59'13" W, ALONG THE SOUTH LINE OF SAID BUSTER TRACT AND THE COMMON OF SAID CALLED 3.2922 ACRE STATE OF TEXAS TRACT AND THE COMMON NORTH ROW LINE OF SAID F.M. HIGHWAY 664/OVILLA ROAD, A DISTANCE OF 70.45 FEET TO A 5/8" IRON ROD WITH CAP STAMPED "TXRCS" SET FOR CORNER;

THENCE S 89°11'55" W, ALONG THE SOUTH LINE OF SAID BUSTER TRACT AND THE COMMON OF SAID CALLED 3.2922 ACRE STATE OF TEXAS TRACT AND THE COMMON NORTH ROW LINE OF SAID F.M. HIGHWAY 664/OVILLA ROAD, A DISTANCE OF 1717.22 FEET TO THE POINT OF BEGINNING, AND CONTAINING 33.359 ACRES OF LAND MORE OR LESS.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT WILLIAM C. BUSTER, DOES HEREBY ADOPT THIS PLAT DESIGNATING THE HEREINABOVE DESCRIBED PROPERTY AS _____ AN ADDITION IN THE CITY OF GLENN HEIGHTS, ELLIS COUNTY, TEXAS, AND DO HEREBY DEDICATE IN FEE SIMPLE, TO THE PUBLIC USE FOREVER ANY STREETS, ALLEYS AND FLOODWAY MANAGEMENT AREAS SHOWN THEREON. THE EASEMENTS SHOWN THEREON ARE HEREBY RESERVED FOR THE PURPOSES INDICATED. THE UTILITY AND FIRE LANE EASEMENTS SHALL BE OPEN TO THE PUBLIC, FIRE AND POLICE UNITS, GARBAGE AND RUBBISH COLLECTION AGENCIES, AND ALL PUBLIC AND PRIVATE UTILITIES FOR EACH PARTICULAR USE. THE MAINTENANCE OF PAVING ON THE FIRE LANE EASEMENTS IS THE RESPONSIBILITY OF THE PROPERTY OWNER(S). NO BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR GROWTHS SHALL BE CONSTRUCTED, RECONSTRUCTED OR PLACED UPON, OVER OR ACROSS THE EASEMENTS AS SHOWN. PAVING, GRADING, OR LANDSCAPING WITHIN THE EASEMENTS SHOWN HEREIN IS HEREBY PERMITTED AND SHALL NOT BE DEEMED TO BE AN ENDANGERMENT OR INTERFERENCE TO ANY OF THE EASEMENTS SHOWN HEREIN OR THE UTILITY SYSTEMS WITHIN SAID EASEMENTS, AND THE CITY OF GLENN HEIGHTS AND PUBLIC UTILITY ENTITIES SHALL, AT THEIR SOLE COST AND EXPENSE, PROMPTLY REPAIR OR REPLACE THE SAME FOR ANY DAMAGE IT CAUSES THERETO IN CONNECTION WITH THE EASEMENT RIGHTS HEREIN GRANTED. SAID EASEMENTS BEING HEREBY RESERVED FOR THE MUTUAL USE AND ACCOMMODATIONS OF ALL PUBLIC UTILITIES USING OR DESIRING TO USE SAME. ALL AND ANY PUBLIC UTILITY SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PARTS OF ANY BUILDING, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR GROWTHS WHICH IN ANY WAY MAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE, OR EFFICIENCY OF ITS RESPECTIVE SYSTEM ON THE EASEMENTS AND ALL PUBLIC UTILITIES SHALL AT ALL TIMES HAVE THE FULL RIGHT OF INGRESS AND EGRESS TO OR FROM THE SAID EASEMENT FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, INSPECTING, PATROLLING, MAINTAINING AND ADDING TO OR REMOVING ALL OR PARTS OF ITS RESPECTIVE SYSTEMS WITHOUT THE NECESSITY AT ANY TIME OF PROCURING THE PERMISSION OF ANYONE. (ANY PUBLIC UTILITY SHALL HAVE THE RIGHT OF INGRESS AND EGRESS TO PRIVATE PROPERTY FOR THE PURPOSE OF READING METERS AND ANY MAINTENANCE OR SERVICE REQUIRED OR ORDINARILY PERFORMED BY THAT UTILITY). WATER MAIN AND WASTEWATER EASEMENTS SHALL ALSO INCLUDE ADDITIONAL AREA OF WORKING SPACE FOR CONSTRUCTIONS AND MAINTENANCE OF THE SYSTEMS.

THIS PLAT APPROVED SUBJECT TO ALL PLATTING ORDINANCES. RULES. REGULATIONS, AND RESOLUTIONS OF THE CITY OF GLENN HEIGHTS.

WITNESS, MY HAND, THIS THE _____ DAY OF _____, 2025.

BY:

WILLIAM C. BUSTER

NOTES:

BEARING BASIS FOR THIS SURVEY IS TEXAS COORDINATE SYSTEM, NORTH CENTRAL ZONE 4202, NAD 83 PER GPS OBSERVATIONS.

THE SURVEYOR DID NOT ABSTRACT THE SUBJECT PROPERTY FOR EASEMENTS OR ENCUMBRANCES THAT MAY AFFECT THE SUBJECT PROPERTY. THE SURVEYOR RELIED UPON THE TITLE COMMITMENT PROVIDED BY INDEPENDENCE TITLE ISSUED ON JANUARY 28, 2022, BY FIRST AMERICAN TITLE GUARANTY COMPANY GF NO. 2202147-SMDF, FOR RESEARCH OF EASEMENTS.

ALL OF THE SUBJECT PROPERTY LIES WITHIN ZONE "X" - DEFINED AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN", ACCORDING TO THE THE FLOOD INSURANCE RATE MAP NO. 48139C075F, DATED JUNE 3, 2013, AS PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

SELLING ANY PORTION OF ANY LOT WITHIN THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF STATE LAW AND CITY ORDINANCE AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITY SERVICES AND BUILDING PERMITS.

BUILDING LINES AND SETBACKS ARE TO BE DETERMINED BY THE CURRENT ZONING OF THE SUBJECT PROPERTY.

NO ACCESS TO THE PROPERTY WILL BE ALLOWED FROM THE ALLEY ALONG THE NORTH PROPERTY LINE.

ACCESS RIGHTS TO DRIVEWAY ARE HEREBY GRANTED TO ALL ADJOINING RESIDENTIAL PROPERTIES.

WAIVER OF CLAIM OF DAMAGES:

THE OWNER AND DEVELOPER RELEASE THE CITY OF GLENN HEIGHTS FROM ANY AND ALL CLAIMS, DAMAGES, OBLIGATIONS, OR LIABILITIES BY THE ESTABLISHMENT OF GRADES, OR THE ALTERATION OF THE SURFACE OF ANY PORTION OF THE EXISTING STREETS AND ALLEYS, TO CONFORM THE GRADES ESTABLISHED IN THIS PLAT.

LEGEND:

- CIRS = 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "TXRCS" SET
- CIRF = 1/2" IRON ROD WITH CAP STAMPED "PREMIER SURVEYING" FOUND
- DE = DRAINAGE EASEMENT
- UE = UTILITY EASEMENT
- BL = BUILDING LINE

STATE OF TEXAS :

BEFORE ME THE UNDERSIGNED AUTHORITY, A NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS, ON THIS DAY PERSONALLY APPEARED GLORIA DONOVAN, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE EXECUTED THE SAME FOR THE PURPOSE HEREIN EXPRESSED AND IN THE CAPACITY STATED.

GIVEN UNDER MY HAND AND SEAL THIS, THE _____ DAY OF _____, 2025.

NOTARY PUBLIC, IN AND FOR THE STATE OF TEXAS

KNOW ALL MEN BY THESE PRESENTS:

THAT I, TIMOTHY L. JACKSON, RPLS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECT AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUN

"PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT"

TIMOTHY L JACKSON
REGISTRATION NUMBER 5644

STATE OF TEXAS :

BEFORE ME THE UNDERSIGNED AUTHORITY, A NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS, ON THIS DAY PERSONALLY APPEARED TIMOTHY L. JACKSON, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE EXECUTED THE SAME FOR THE PURPOSE HEREIN EXPRESSED AND IN THE CAPACITY STATED.

GIVEN UNDER MY HAND AND SEAL THIS, THE _____ DAY OF _____, 2025.

NOTARY PUBLIC, IN AND FOR THE STATE OF TEXAS

STATE OF TEXAS:
COUNTY OF ELLIS:

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING PLAT OF _____ IN THE CITY OF GLENN HEIGHTS WAS APPROVED THIS THE _____ DAY OF _____, 2025 BY THE CITY COUNCIL OF THE CITY OF GLENN HEIGHTS, TEXAS.

MAYOR _____ DATE _____ CITY SECRETARY _____ DATE _____

CHAIRMAN _____ DATE _____
PLANNING AND ZONING COMMISSION

SAID ADDITION SHALL BE SUBJECT TO ALL THE REQUIREMENTS OF THE DEVELOPMENT CODE OF THE CITY OF GLENN HEIGHTS.

WITNESS MY HAND THE THE _____ DAY OF _____, 2025

CITY SECRETARY

OWNERS:
BUSTER FAMILY TRUST
ATTN: MARK BUSTER
1399 W. COLTON AVE, SUITE #5
REDLANDS, CA 92374
469.708.6833

SURVEYOR:
TEXAS REALITY CAPTURE & SURVEYING, LLC.
P.O. BOX 252
WAXAHACHIE, TEXAS 75168
469.518.0338
TBPLS FIRM NO 10194359

PRELIMINARY PLAT
UHL CROSSING
BEING A 33.359 ACRE ADDITION IN THE M. CRASP SURVEY, ABST. NO. 264 AND THE M. MCDERMOTT SURVEY, ABST. NO. 743 CITY OF GLENN HEIGHTS, ELLIS COUNTY, TEXAS

UHL CROSSING PRELIMINARY AND FINAL PLAT



PARVIZ R POURAZIZIAN, DIRECTOR OF PLANNING &
DEVELOPMENT SERVICES

JULY 15, 2025

PRELIMINARY AND FINAL PLAT



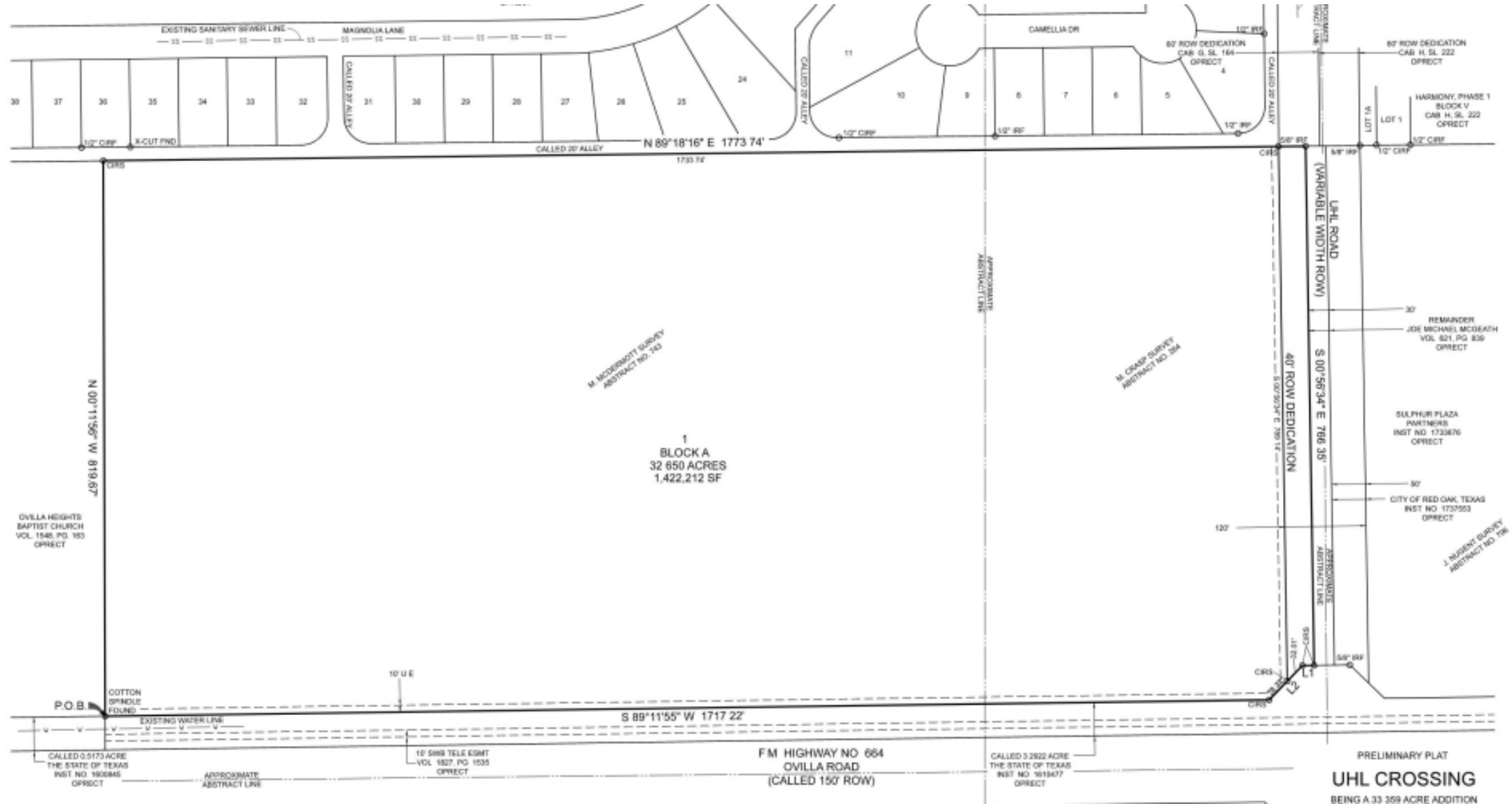
Discuss and take action on a Preliminary/Final Plat Request by Michael Neary, on behalf of Mark Buster , for the UHL Crossing for a 33.359-acre tract of land being generally located at the Northwest corner of the intersection of Ovilla Road and South UHL Road in the City of Glenn Heights, Ellis County, Texas, situated in the M. Crasp Survey, Abstract No. 264, and the M. Mcdermott Survey, Abstract No. 743, City of Glenn Heights, Ellis County, Texas and being a portion of that tract of land described in deed recorded in instrument No. 2419074, of the official public records of Ellis County, Texas (OPRECT).

AERIAL VIEW



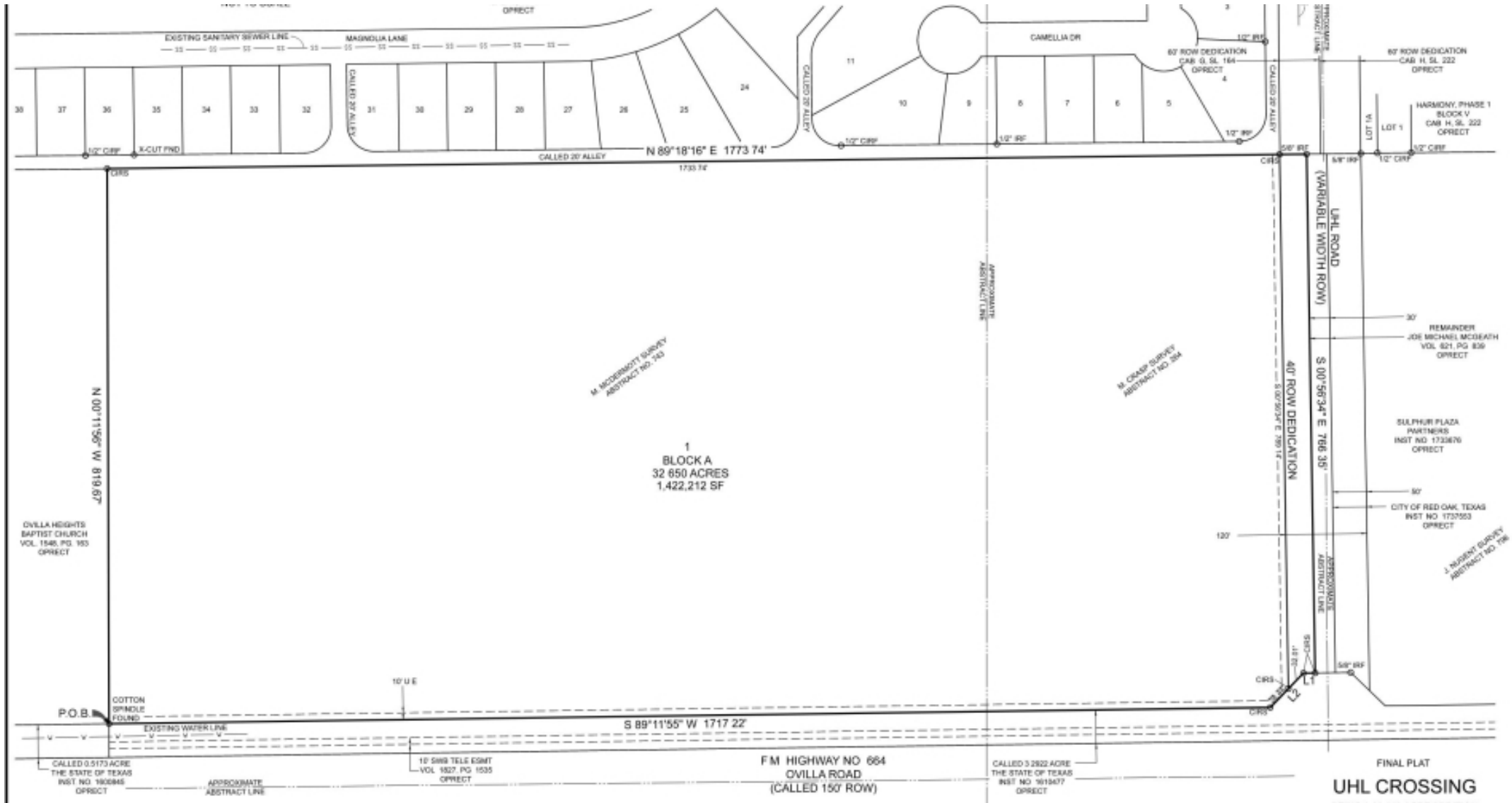


PRELIMINARY PLAT





FINAL PLAT

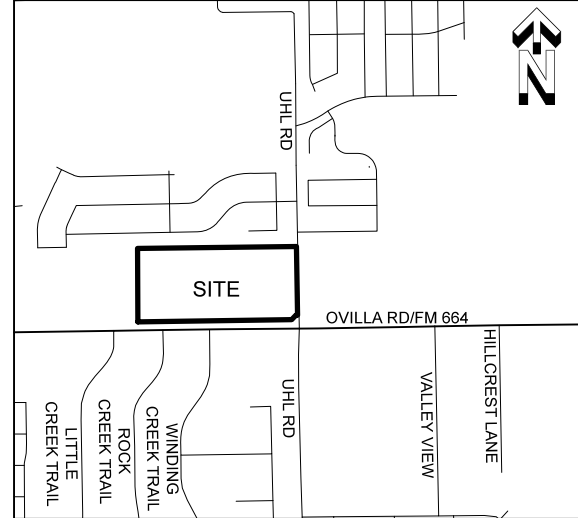
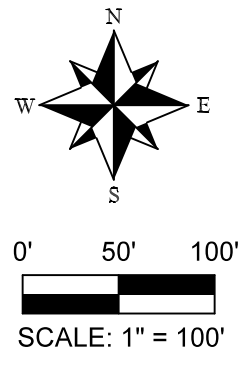


FINAL PLAT
UHL CROSSING

QUESTIONS



COMMENTS

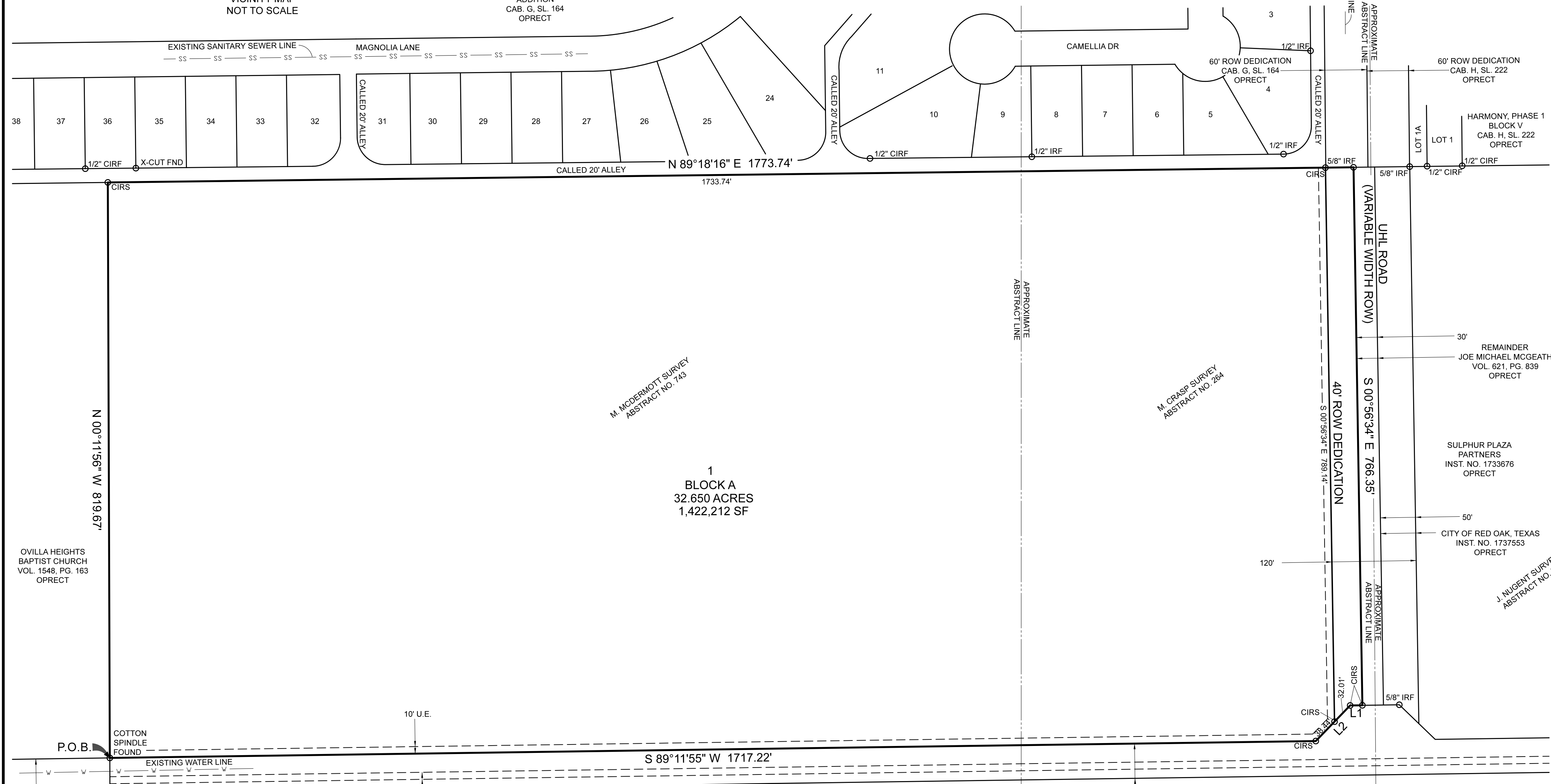


VICINITY MAP
NOT TO SCALE

LINE	BEARING	DISTANCE
L1	S 89°11'55" W	17.39'
L2	S 43°59'13" W	70.45'

MAGNOLIA FARMS
ADDITION
CAB. G. SL. 164
OPRECT

ALL LOTS MONUMENTED WITH A 5/8" IRON ROD WITH CAP STAMPED
"TXRCS" UNLESS OTHERWISE NOTED.



M. McDERMOTT SURVEY
ABSTRACT NO. 743

M. CRASP SURVEY
ABSTRACT NO. 264

J. NUGENT SURVEY
ABSTRACT NO. 796

1
BLOCK A
32.650 ACRES
1,422,212 SF

OVILLA HEIGHTS
BAPTIST CHURCH
VOL. 1548, PG. 163
OPRECT

REMAINDER
JOE MICHAEL MCGEATH
VOL. 621, PG. 839
OPRECT

SULPHUR PLAZA
PARTNERS
INST. NO. 1733676
OPRECT

CITY OF RED OAK, TEXAS
INST. NO. 1737553
OPRECT

P.O.B.
COTTON SPINDLE
FOUND
CALLED 0.5173 ACRE
THE STATE OF TEXAS
INST. NO. 1600845
OPRECT

10' U.E.
10' SWB TELE ESMT
VOL. 1827, PG. 1535
OPRECT

S 89°11'55" W 1717.22'

F.M. HIGHWAY NO. 664
OVILLA ROAD
(CALLED 150' ROW)

CALLED 3.2922 ACRE
THE STATE OF TEXAS
INST. NO. 1610477
OPRECT

FINAL PLAT
UHL CROSSING
BEING A 33.359 ACRE ADDITION
IN THE
M. CRASP SURVEY, ABST. NO. 264
AND THE
M. McDERMOTT SURVEY, ABST. NO. 743
CITY OF GLENN HEIGHTS,
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CAB. A, SL. 709
OPRECT

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LITTLE CREEK ESTATES
PHASE II
CAB. B, SL. 13
OPRECT

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LITTLE CREEK ESTATES
PHASE III
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LOT 1
LORD OF LIFE
LUTHERAN CHURCH
CAB. F, SL. 28
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THENCE S 43°59'13" W, ALONG THE SOUTH LINE OF SAID BUSTER TRACT AND THE COMMON OF SAID CALLED 3.2922 ACRE STATE OF TEXAS TRACT AND THE COMMON NORTH ROW LINE OF SAID F.M. HIGHWAY 664/OVILLA ROAD, A DISTANCE OF 70.45 FEET TO A 5/8" IRON ROD WITH CAP STAMPED "TXRCS" SET FOR CORNER;

THENCE S 89°11'55" W, ALONG THE SOUTH LINE OF SAID BUSTER TRACT AND THE COMMON OF SAID CALLED 3.2922 ACRE STATE OF TEXAS TRACT AND THE COMMON NORTH ROW LINE OF SAID F.M. HIGHWAY 664/OVILLA ROAD, A DISTANCE OF 1717.22 FEET TO THE POINT OF BEGINNING, AND CONTAINING 33.359 ACRES OF LAND MORE OR LESS.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT WILLIAM C. BUSTER, DOES HEREBY ADOPT THIS PLAT DESIGNATING THE HEREINABOVE DESCRIBED PROPERTY AS _____ AN ADDITION IN THE CITY OF GLENN HEIGHTS, ELLIS COUNTY, TEXAS, AND DO HEREBY DEDICATE IN FEE SIMPLE, TO THE PUBLIC USE FOREVER ANY STREETS, ALLEYS AND FLOODWAY MANAGEMENT AREAS SHOWN THEREON. THE EASEMENTS SHOWN THEREON ARE HEREBY RESERVED FOR THE PURPOSES INDICATED. THE UTILITY AND FIRE LANE EASEMENTS SHALL BE OPEN TO THE PUBLIC, FIRE AND POLICE UNITS, GARBAGE AND RUBBISH COLLECTION AGENCIES, AND ALL PUBLIC AND PRIVATE UTILITIES FOR EACH PARTICULAR USE. THE MAINTENANCE OF PAVING ON THE FIRE LANE EASEMENTS IS THE RESPONSIBILITY OF THE PROPERTY OWNER(S). NO BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR GROWTHS SHALL BE CONSTRUCTED, RECONSTRUCTED OR PLACED UPON, OVER OR ACROSS THE EASEMENTS AS SHOWN. PAVING, GRADING, OR LANDSCAPING WITHIN THE EASEMENTS SHOWN HEREIN IS HEREBY PERMITTED AND SHALL NOT BE DEEMED TO BE AN ENDANGERMENT OR INTERFERENCE TO ANY OF THE EASEMENTS SHOWN HEREIN OR THE UTILITY SYSTEMS WITHIN SAID EASEMENTS, AND THE CITY OF GLENN HEIGHTS AND PUBLIC UTILITY ENTITIES SHALL, AT THEIR SOLE COST AND EXPENSE, PROMPTLY REPAIR OR REPLACE THE SAME FOR ANY DAMAGE IT CAUSES THERETO IN CONNECTION WITH THE EASEMENT RIGHTS HEREIN GRANTED. SAID EASEMENTS BEING HEREBY RESERVED FOR THE MUTUAL USE AND ACCOMMODATIONS OF ALL PUBLIC UTILITIES USING OR DESIRING TO USE SAME. ALL AND ANY PUBLIC UTILITY SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PARTS OF ANY BUILDING, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR GROWTHS WHICH IN ANY WAY MAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE, OR EFFICIENCY OF ITS RESPECTIVE SYSTEM ON THE EASEMENTS AND ALL PUBLIC UTILITIES SHALL AT ALL TIMES HAVE THE FULL RIGHT OF INGRESS AND EGRESS TO OR FROM THE SAID EASEMENT FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, INSPECTING, PATROLLING, MAINTAINING AND ADDING TO OR REMOVING ALL OR PARTS OF ITS RESPECTIVE SYSTEMS WITHOUT THE NECESSITY AT ANY TIME OF PROCURING THE PERMISSION OF ANYONE. (ANY PUBLIC UTILITY SHALL HAVE THE RIGHT OF INGRESS AND EGRESS TO PRIVATE PROPERTY FOR THE PURPOSE OF READING METERS AND ANY MAINTENANCE OR SERVICE REQUIRED OR ORDINARILY PERFORMED BY THAT UTILITY). WATER MAIN AND WASTEWATER EASEMENTS SHALL ALSO INCLUDE ADDITIONAL AREA OF WORKING SPACE FOR CONSTRUCTIONS AND MAINTENANCE OF THE SYSTEMS.

THIS PLAT APPROVED SUBJECT TO ALL PLATTING ORDINANCES. RULES. REGULATIONS, AND RESOLUTIONS OF THE CITY OF GLENN HEIGHTS.

WITNESS, MY HAND, THIS THE _____ DAY OF _____, 2025.

BY:

WILLIAM C. BUSTER

NOTES:

BEARING BASIS FOR THIS SURVEY IS TEXAS COORDINATE SYSTEM, NORTH CENTRAL ZONE 4202, NAD 83 PER GPS OBSERVATIONS.

THE SURVEYOR DID NOT ABSTRACT THE SUBJECT PROPERTY FOR EASEMENTS OR ENCUMBRANCES THAT MAY AFFECT THE SUBJECT PROPERTY. THE SURVEYOR RELIED UPON THE TITLE COMMITMENT PROVIDED BY INDEPENDENCE TITLE ISSUED ON JANUARY 28, 2022, BY FIRST AMERICAN TITLE GUARANTY COMPANY GF NO. 2202147-SMDF, FOR RESEARCH OF EASEMENTS.

ALL OF THE SUBJECT PROPERTY LIES WITHIN ZONE "X" - DEFINED AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN", ACCORDING TO THE THE FLOOD INSURANCE RATE MAP NO. 48139C075F, DATED JUNE 3, 2013, AS PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

SELLING ANY PORTION OF ANY LOT WITHIN THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF STATE LAW AND CITY ORDINANCE AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITY SERVICES AND BUILDING PERMITS.

BUILDING LINES AND SETBACKS ARE TO BE DETERMINED BY THE CURRENT ZONING OF THE SUBJECT PROPERTY.

NO ACCESS TO THE PROPERTY WILL BE ALLOWED FROM THE ALLEY ALONG THE NORTH PROPERTY LINE.

ACCESS RIGHTS TO DRIVEWAY ARE HEREBY GRANTED TO ALL ADJOINING RESIDENTIAL PROPERTIES.

WAIVER OF CLAIM OF DAMAGES:

THE OWNER AND DEVELOPER RELEASE THE CITY OF GLENN HEIGHTS FROM ANY AND ALL CLAIMS, DAMAGES, OBLIGATIONS, OR LIABILITIES BY THE ESTABLISHMENT OF GRADES, OR THE ALTERATION OF THE SURFACE OF ANY PORTION OF THE EXISTING STREETS AND ALLEYS, TO CONFORM THE GRADES ESTABLISHED IN THIS PLAT.

LEGEND:

CIRS = 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "TXRCS" SET

CIRF = 1/2" IRON ROD WITH CAP STAMPED "PREMIER SURVEYING" FOUND

DE = DRAINAGE EASEMENT

UE = UTILITY EASEMENT

BL = BUILDING LINE

STATE OF TEXAS :

BEFORE ME THE UNDERSIGNED AUTHORITY, A NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS, ON THIS DAY PERSONALLY APPEARED GLORIA DONOVAN, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE EXECUTED THE SAME FOR THE PURPOSE HEREIN EXPRESSED AND IN THE CAPACITY STATED.

GIVEN UNDER MY HAND AND SEAL THIS, THE _____ DAY OF _____, 2025.

NOTARY PUBLIC, IN AND FOR THE STATE OF TEXAS

KNOW ALL MEN BY THESE PRESENTS:

THAT I, TIMOTHY L. JACKSON, RPLS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECT AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND

"PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT"

TIMOTHY L JACKSON
REGISTRATION NUMBER 5644

STATE OF TEXAS :

BEFORE ME THE UNDERSIGNED AUTHORITY, A NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS, ON THIS DAY PERSONALLY APPEARED TIMOTHY L. JACKSON, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE EXECUTED THE SAME FOR THE PURPOSE HEREIN EXPRESSED AND IN THE CAPACITY STATED.

GIVEN UNDER MY HAND AND SEAL THIS, THE _____ DAY OF _____, 2025.

NOTARY PUBLIC, IN AND FOR THE STATE OF TEXAS

STATE OF TEXAS:
COUNTY OF ELLIS:

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING PLAT OF _____ IN

THE CITY OF GLENN HEIGHTS WAS APPROVED THIS THE _____ DAY OF _____, 2025

BY THE CITY COUNCIL OF THE CITY OF GLENN HEIGHTS, TEXAS.

MAYOR _____ DATE _____ CITY SECRETARY _____ DATE _____

CHAIRMAN _____ DATE _____
PLANNING AND ZONING COMMISSION

SAID ADDITION SHALL BE SUBJECT TO ALL THE REQUIREMENTS OF THE DEVELOPMENT CODE OF THE CITY OF GLENN HEIGHTS.

WITNESS MY HAND THE THE _____ DAY OF _____, 2025

CITY SECRETARY

FINAL PLAT

UHL CROSSING

BEING A 33.359 ACRE ADDITION IN THE

M. CRASP SURVEY, ABST. NO. 264

AND THE

M. MCDERMOTT SURVEY, ABST. NO. 743

CITY OF GLENN HEIGHTS,
ELLIS COUNTY, TEXAS

OWNERS:
BUSTER FAMILY TRUST
ATTN: MARK BUSTER
1399 W. COLTON AVE, SUITE #5
REDLANDS, CA 92374
469.708.6833

SURVEYOR:
TEXAS REALITY CAPTURE &
SURVEYING, LLC.
P.O. BOX 252
WAXAHACHIE, TEXAS 75168
469.518.0338
TBPLS FIRM NO 10194359

VALENCIA ESTATES PLANNED DEVELOPMENT (PD-27A)



PARVIZ POURAZIZIAN, DIRECTOR OF DEVELOPMENT
SERVICES

JULY 15, 2025



Public Hearing to receive testimony regarding zoning ordinance and zoning map, as previously amended, by amending the zoning of approximately 111.606 acres tract of land situated in the William Rawlings Survey, Abstract No. 1205 in the City of Glenn Heights, Dallas County, Texas, the tract being generally located at the southeastern corner of the intersection of W. Bear Creek Road and S. Westmoreland Road in the City of Glenn Heights, Dallas County, Texas, by changing the zoning classification from Planned Development-27 (PD-27) for Mixed Use Single-Family Residential (base zoning Single-Family Residential-3), Townhome and Multi-Family to Planned Development-27A (PD-27A) for Single-Family Residential (base Single-Family Residential-3) and Multi-Family Residential uses.

REZONING REQUEST



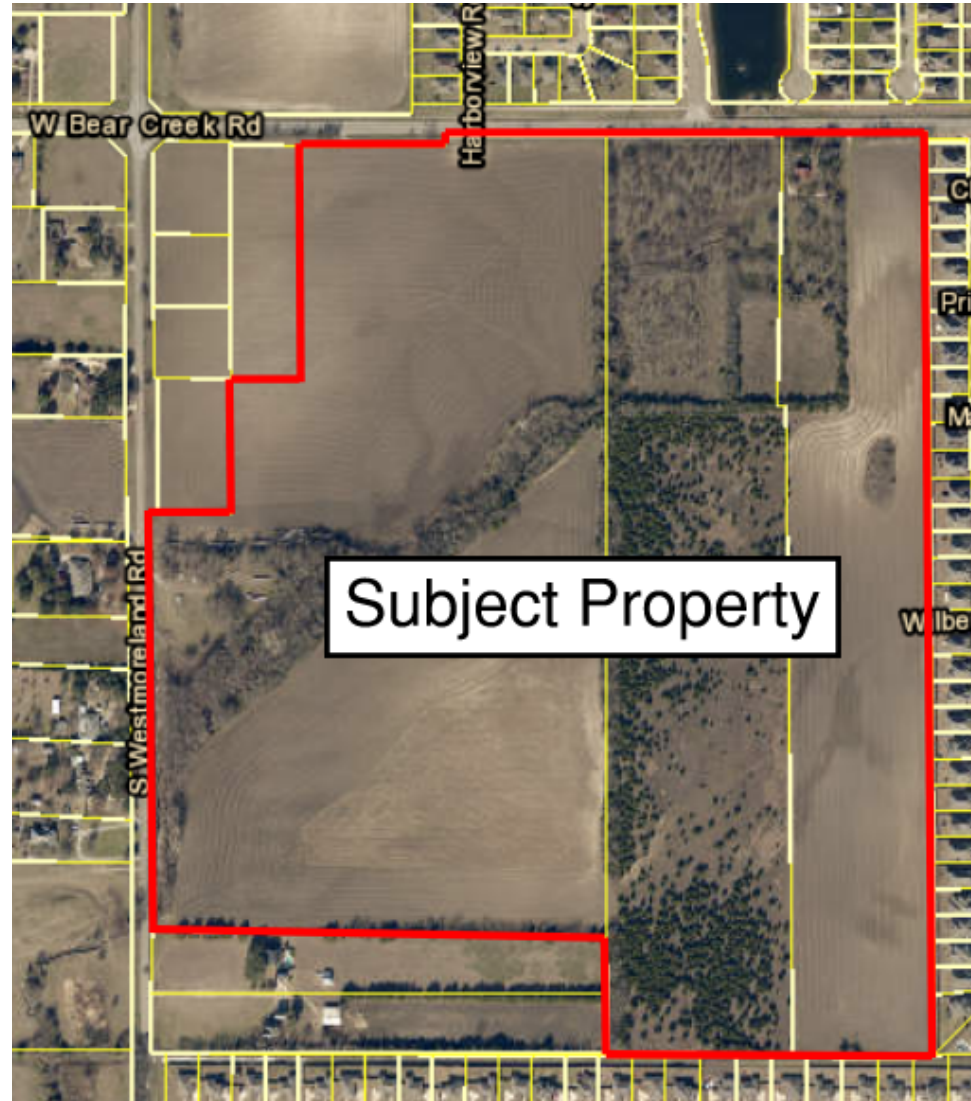
Applicant: Jim Dewey

Location: Southeast corner of W. Bear Creek & S. Westmoreland

Request: Rezone from PD-27, MF, TH, SF3 and SF4 to PD-27A ,
MF, SF3 and SF4

Current Zoning: PD-27, MF, TH, SF3 and SF4

LOCATION MAP



PARADISE ESTATE



PH-3 DEVELOPMENT
[MULTIFAMILY DISTRICT,
PARK & POND]

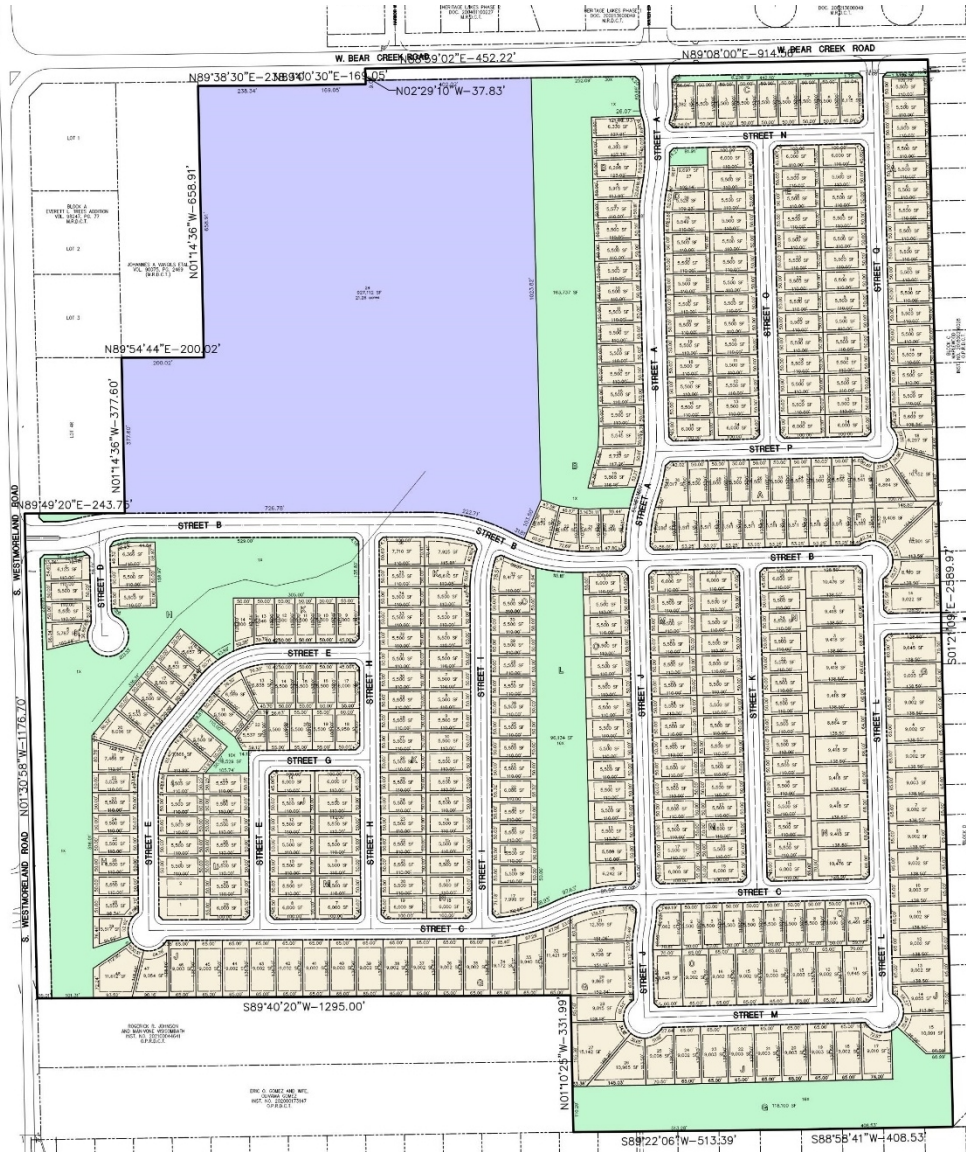
PARK BENCH & TRASH CAN

495
368

PROPOSED LAND USE		
COLOR	LOT DESCRIPTION	NO. OF UNITS
	TOWNHOMES	222
	SINGLE FAMILY	9000+ SQF 81
		5500-9000 SQFT 192
	MULTIFAMILY	368
	POND /Detention /Recreation	05
	PARK	09

Proposed Land Use District	Base Zoning District	Total Approximate Land Area (Including open space)	Approximate Open / Park Space (Percent of Land)	Open / Park Space (Min. Required)	Max. Required Density. (units/ acre)
District-1 Townhome District PH-1 Development	MF/Multifamily Residential	24.42 acres (21.88%)	3.65 acres (15.31%)	15%	12
District-2 Single-Family PH-2 Development	SF-3/ Single-Family Residential-3	66.10 acres (59.25%)	11.63 acres (17.8%)	15%	8
District-3 Multifamily Residential District	MF/ Multifamily Residential	21.08 acres (18.87%)	7.90 acres (37.47 %)	15%	30
	Total	111.606 acres (100%)	23.18 acres (20.77%)	-	-

VALENCIA ESTATES (FORMERLY KNOWN AS PARADISE ESTATE)



LAND AREA TABULATION

TOTAL LAND AREA (GROSS)	112.23 ACRES
ROW DEDICATION BEAR CREEK ROAD	0.93 ACRES
ROW DEDICATION WESTMORELAND ROAD	0.95 ACRES
LAND AREA NET OF ROW DEDICATION	110.35 ACRES
LAND AREA OF SINGLE FAMILY (NET ROW DED.)	88.40 ACRES
LAND AREA OF APARTMENTS (NET ROW DED.)	21.95 ACRES

COLOR	PROPOSED LAND USE	NO. OF LOTS/UNITS	
[Yellow]	SINGLE FAMILY	≥ 9,000 SQ FT	69
		6,000-9,000 SQ FT	53
		5,500-5,999 SQ. FT.	280
[Purple]	MULTIFAMILY	400 MAXIMUM	

402 Vs. 495
400 Vs. 368

PROPOSED LAND USE DISTRICT	BASE ZONING DISTRICT	TOTAL APPROX. LAND AREA (INCLUDING OPEN SPACE)*	APPROX. OPEN/PARK SPACE (% OF AREA)	OPEN/PARK SPACE (MIN. REQUIRED)	MAXIMUM ALLOWABLE DENSITY (UNITS/ACRE)
DISTRICT 1 SINGLE FAMILY RESIDENTIAL	SF-3 SINGLE FAMILY RESIDENTIAL-3	88.33 ACRES *	14.18 ACRES (16.0%)	15%	5
DISTRICT 2 MULTIFAMILY RESIDENTIAL	MF/MULTIFAMILY RESIDENTIAL	21.95 ACRES *	NA	15%	18

* AREA IS DEVELOPABLE AREA (NET OF S. WESTMORELAND ROAD AND W. BEAR CREEK ROAD ROW DEDICATIONS). THESE AREAS DO INCLUDE ALL STREET ROW DEDICATIONS WITHIN THE DEVELOPMENT.

LEGEND

[Yellow]	SINGLE FAMILY LOTS
[Green]	OPEN SPACE/PARK AREAS
[Purple]	APARTMENT ZONING DISTRICT

NOTES:

1. Drainage/Flood study will be done during details engineering submittal
2. A traffic impact analysis will be provided based on proposed density during details engineering submittal.
3. A Concept/Site Plan for the apartments must be submitted for approval prior to permitting.



LAND USE

LAND AREA TABULATION

TOTAL LAND AREA (GROSS) _____ 112.16 ACRES
 ROW DEDICATION BEAR CREEK ROAD _____ 0.93 ACRES
 ROW DEDICATION WESTMORELAND ROAD _____ 0.95 ACRES
 LAND AREA NET OF ROW DEDICATION _____ 110.28 ACRES
 LAND AREA OF SINGLE FAMILY (NET ROW DED.) ___ 88.33 ACRES
 LAND AREA OF APARTMENTS (NET ROW DED.) ___ 21.95 ACRES

COLOR	PROPOSED LAND USE	NO. OF LOTS/UNITS	
	SINGLE FAMILY	≥ 9,000 SQ FT	69
		6,000–9,000 SQ FT	53
		5,500–5,999 SQ. FT.	280
	MULTIFAMILY	400 MAXIMUM	

PROPOSED LAND USE DISTRICT	BASE ZONING DISTRICT	TOTAL APPROX. LAND AREA (INCLUDING OPEN SPACE)*	APPROX. OPEN/PARK SPACE (% OF AREA)	OPEN/PARK SPACE (MIN. REQUIRED)	MAXIMUM ALLOWABLE DENSITY (UNITS/ACRE)
DISTRICT 1 SINGLE FAMILY RESIDENTIAL	SF-3 SINGLE FAMILY RESIDENTIAL-3	88.33 ACRES *	14.18 ACRES (16.0%)	15%	5
DISTRICT 2 MULTIFAMILY RESIDENTIAL	MF/MULTIFAMILY RESIDENTIAL	21.95 ACRES *	NA	15%	18



SF-3 9K (DEVIATIONS)

Planned Development – Single Family District SF-3 -(Minimum 9,000 sq. ft. lots)		
Lot Configuration	Requirement	Provided
Minimum Lot Area	9,000 sq ft with 11,000 sq. ft. average	9,000 sq. ft.
Minimum Lot Width	70 ft (except for cul-de-sac lots)	60 ft.
Minimum Lot Depth	120 ft (except at cul-de-sac lots)	120 ft.
Yard Requirements		
Front Yard	30 ft	25 ft
Side Yard	8 ft	5 ft
Side Yard of Corner Lots	15 ft	10 ft
Rear Yard	20 ft	15 ft
Others		
Minimum Floor Area per Dwelling Unit	1,750 sq ft with 1,850 sq. ft. average	1,850 sq. ft.
Maximum Lot Coverage of Building Structure	40%	40%
Height of Main Structure	2.5 stories or 35 ft	2.5 stories or 35 ft
Height of Accessory Structures	15 ft	15 ft
Maximum Density	Max of 3.5 units per acre	5 units per acre
Trees	Two large shade trees and Two medium trees in rear yard	Two large shade trees and Two medium trees in rear yard
Sod	None	Front, side, and rear yards



SF-3 AND SF-4 5.5K (DEVIATIONS)

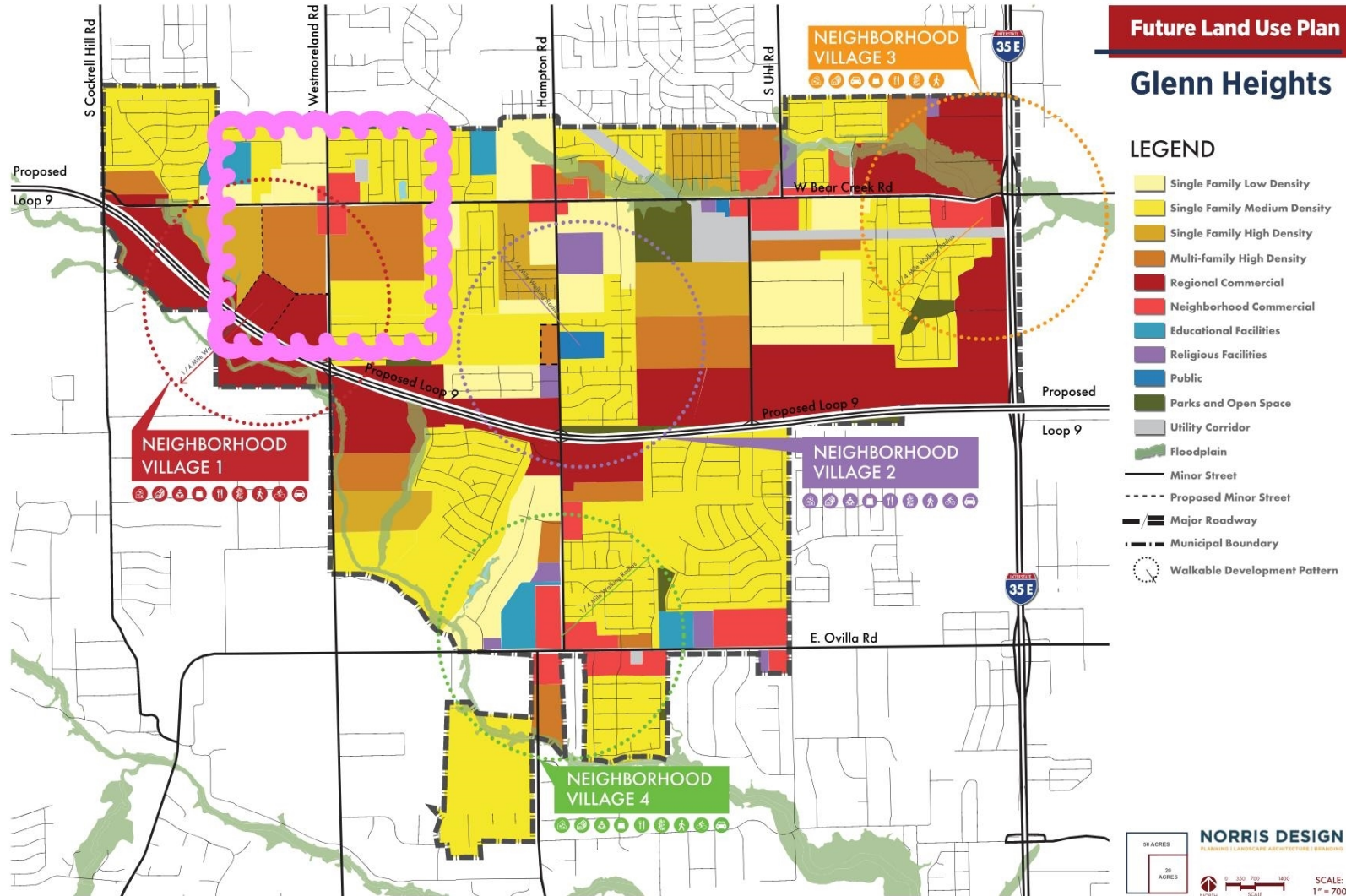
Planned Development – Single Family District SF-4 -(Minimum 5,500 sq. ft. lots)

Lot Configuration	Requirement	Provided
Minimum Lot Area	7,500 sq ft	5,500 sq. ft.
Minimum Lot Width	70 ft	70 ft (except for cul-de-sac lots)
Minimum Lot Depth	100 ft (except for cul-de-sac lots)	100 ft (except for cul-de-sac lots)
Yard Requirements		
Front Yard	25 ft	20 ft
Side Yard	10% or 5 ft	5 ft
Side Yard of Corner Lots	15 ft	10 ft
Rear Yard	20 ft	15 ft
Others		
Minimum Floor Area per Dwelling Unit	1,550 sq. ft with 1,700 sq. ft. average	1,500 sq. ft.
Lot Coverage of Building Structure	35% for main building and 60% for all impervious areas	50% for main building
Height of Main Structure	2.5 stories or 35 ft	2.5 stories or 35 ft
Height of Accessory Structures	15 ft	15 ft.
Maximum Density	Max of 3.5 units per acre	5 units per acre
Trees	Two large shade trees and Two medium trees in rear yard	One 3" caliper tree in front yard Two 3" caliper trees in rear yard
Sod	None	Front, side, and rear yards

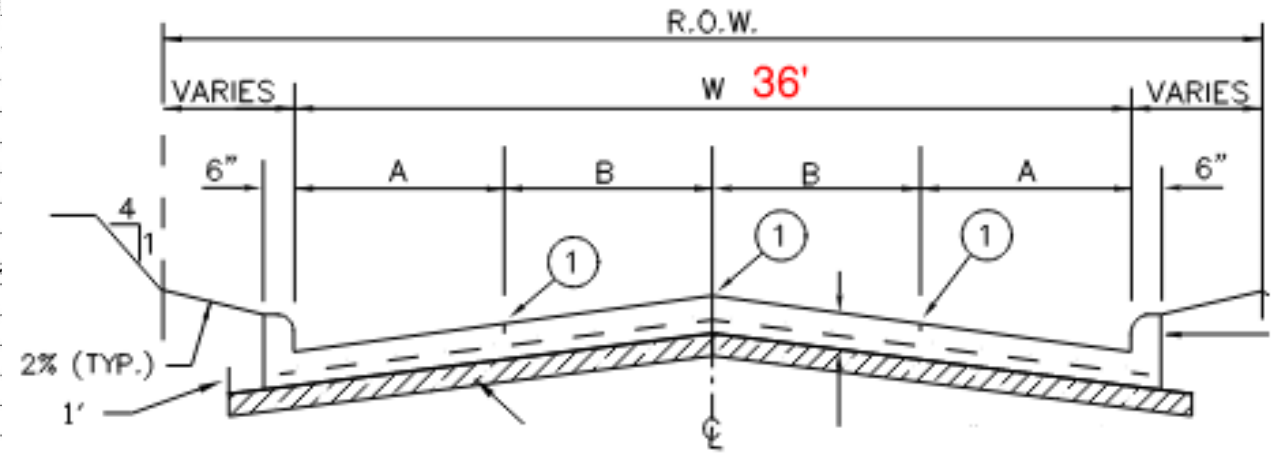
2024 FUTURE LAND USE



5-7: Future Land Use Plan



THOROUGHFARE



RECOMMENDATION



Staff acknowledges the concerns related traffic at the intersection of W Bear Creek and S Westmoreland Rd. There is ongoing CIP going on to add traffic light, additional ROW and driving lanes which requires further investigation.

- ❑ Approval of the Planned Development-27A.
 - ❑ Staff believes this request to be in alignment with the City of Glenn Heights Comprehensive Plan and City Zoning Ordinance
 - ❑ Staff believes this request will result in an overall superior development compared to development permitted by the current Planned Development 6 Zoning District.

QUESTIONS



COMMENTS

ORDINANCE O-11-25

AN ORDINANCE OF THE CITY OF GLENN HEIGHTS, TEXAS, AMENDING THE CITY OF GLENN HEIGHTS ZONING ORDINANCE, PLAN AND MAP, AS PREVIOUSLY AMENDED, BY AMENDING THE ZONING OF A 111.606± ACRES TRACT OF LAND SITUATED IN THE WILLIAM RAWLINGS SURVEY, ABSTRACT NO. 1205 IN THE CITY OF GLENN HEIGHTS, DALLAS COUNTY, TEXAS AND BEING ALL OF A TRACT OF LAND DESCRIBED IN INSTRUMENT NO. 20070138404 AND INSTRUMENT NO. 201600127111 , BOTH OF THE OFFICIAL PUBLIC RECORDS OF DALLAS COUNTY, TEXAS AND FURTHER BEING ALL OF A TRACT OF LAND DESCRIBED IN PARTITION DEED RECORDED IN VOLUME 96079, PAGE 3070, D.R.D.C.T, THE TRACT BEING GENERALLY LOCATED AT THE SOUTHEASTERN CORNER OF THE INTERSECTION OF W. BEAR CREEK ROAD AND S. WESTMORELAND ROAD IN THE CITY OF GLENN HEIGHTS, DALLAS COUNTY, TEXAS, THE TRACT BEING MORE PARTICULARLY DESCRIBED AND DEPICTED IN EXHIBIT “A” HERETO, FROM PLANNED DEVELOPMENT-27 (PD-27) FOR MIXED USE SINGLE-FAMILY RESIDENTIAL (BASE SINGLE-FAMILY RESIDENTIAL-3), TOWNHOME AND MULTI-FAMILY TO PLANNED DEVELOPMENT-27A (PD-27A) FOR SINGLE-FAMILY RESIDENTIAL (BASE SINGLE-FAMILY RESIDENTIAL-3) AND MULTI-FAMILY RESIDENTIAL USES; ADOPTING DEVELOPMENT REGULATIONS THEREFOR, ADOPTING A CONCEPT PLAN THEREFOR; PROVIDING FOR A CONFLICTS RESOLUTION CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A SAVINGS CLAUSE; PROVIDING A PENALTY OF FINE NOT TO EXCEED TWO THOUSAND DOLLARS (\$2,000) FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission and the governing body of the City of Glenn Heights, Texas, in compliance with the laws of the State of Texas and the ordinances of the City of Glenn Heights, Texas, have given the requisite notices by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all the property owners generally and to all persons interested and situated in the affected area, and in the vicinity thereof, and in the exercise of its legislative discretion, have concluded that the City of Glenn Heights Zoning Ordinance and Zoning Map of the City of Glenn Heights, Texas, as previously amended, should be further amended.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GLENN HEIGHTS, TEXAS, THAT:

SECTION 1. CHANGE OF ZONING CLASSIFICATION

The City of Glenn Heights Comprehensive Zoning Ordinance (the “Zoning Ordinance”), Plan and Map of the City of Glenn Heights, Texas, are hereby amended by amending the zoning designation and related regulations regarding use and development for a 111.606± acres tract of land situated

in the William Rawlings Survey, Abstract No. 1205 in the City of Glenn Heights, Dallas County, Texas and being all of a tract of land described in Instrument No. 20070138404 and Instrument No. 201600127111, both of the Official Public Records of Dallas County, Texas and further being all of a tract of land described in Partition Deed Recorded in Volume 96079, Page 3070, D.R.D.C.T and being generally located at the southeastern corner of the intersection of W. Bear Creek Road and S. Westmoreland Road in the City of Glenn Heights, Dallas County, Texas, the tract being more particularly described and depicted in Exhibit "A" hereto (the 111.606± acre tract is referred to herein as the "Property") from Planned Development-27 (PD-27) for mixed use single-family residential (base zoning Single-Family Residential-3), townhome, multi-family and retail uses to Planned Development-27A (PD-27A) for single-family residential (base zoning Single-Family Residential-3) and Multi-Family uses, subject to section 2 and 3 of this Ordinance. The development shall be known as Valencia Estates (formerly Paradise Estates).

SECTION 2. DEVELOPMENT AND LAND USE STANDARDS

The Property shall be developed and used in accordance with the provisions of all building regulations, zoning ordinances, subdivision regulations, and any other applicable ordinances of the City, except as may be specifically amended herein, including compliance with the Zoning Ordinance applicable to the noted base zonings of Single-Family Residential-3 and Multi-family, except where modified by the Planned Development District Regulations attached hereto and incorporated herein as Exhibit "B" ("Development Regulations"), the same being hereby approved and adopted.

SECTION 3. CONCEPT PLAN

The Concept Plan and Parks Plan attached hereto and incorporated herein as Exhibit "C" (the "Concept Plan") is approved as a part of the Development Regulations for the Property and is made a part hereof for all purposes. Use and development of the Property shall be in conformance therewith.

SECTION 4. CONFLICTS.

The Property shall be used only in the manner and for the purposes provided herein and by the ordinances of the City of Glenn Heights, Texas, as heretofore amended, and as amended herein. The development, use and occupancy of the Property shall conform to the standards and regulations set forth in Exhibits "B" and "C," the provisions of the City's Comprehensive Zoning Ordinance, and the Code of Ordinances of the City of Glenn Heights, Texas, as amended. In the event of any conflict or inconsistency between the provisions of this ordinance and the provisions contained in any other provisions of the Code of Ordinances, the provisions of this ordinance shall control. In the event that this ordinance does not include a standard or regulation that is otherwise required for similar or comparable development or uses by the Comprehensive Zoning Ordinance or the City's Code of Ordinances, then the standard or regulation required by the Comprehensive Zoning Ordinance or the City's Code of Ordinances shall be applicable to development and use of the Property.

SECTION 5. SEVERABILITY CLAUSE.

Should any word, sentence, paragraph, subdivision, clause, phrase or section of this Ordinance, or of the City of Glenn Heights Zoning Ordinance, as amended hereby, be adjudged or held to be void or unconstitutional, the same shall not affect the validity of the remaining portions of said ordinance or the City of Glenn Heights Zoning Ordinance, as amended hereby, which shall remain in full force and effect.

SECTION 6 SAVINGS CLAUSE.

An offense committed before the effective date of this Ordinance is governed by prior law and the provisions of the City of Glenn Heights Zoning Ordinance, as amended, in effect when the offense was committed, and the former law is continued in effect for this purpose.

SECTION 7. PENALTY.

Any person violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction thereof shall be fined in a sum not to exceed Two Thousand Dollars (\$2,000) and a separate offense shall be deemed committed upon each day during or on which a violation occurs or continues.

SECTION 8. EFFECTIVE DATE.

This Ordinance shall become effective from and after the date of its passage and final publication in accordance with the Charter of the City of Glenn Heights and/or applicable state law and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GLENN HEIGHTS, TEXAS ON THIS THE 15TH DAY OF JULY, 2025.

APPROVED:

Sonja A. Brown, Mayor

ATTEST:

Brandi Brown, City Secretary

APPROVED AS TO FORM:

David M. Berman, City Attorney

Exhibit "A"
[Survey and Legal Description of the Property]

METES AND BOUNDS DESCRIPTION:

BEING a tract of land situated in the William Rawlings Survey, Abstract No. 1205 in the City of Glenn Heights, Dallas County, Texas, and being all of a tract of land described in a deed to Your Home Builder, Inc. as recorded in Instrument No. 20070138404 of the Official Public Records of Dallas County, Texas, (O.P.R.D.C.T.) and being all of a tract of land described in a deed to Sudha Reddy Suravaram and Yojana Randi Sangu as recorded in Instrument No. 201600127111 (O.P.R.D.C.T.), and being all of that tract of land described in Probate to William Patrick Young and Mary Kathleen Young, as described in Partition Deed recorded in Volume 96079, Page 3070, D.R.D.C.T., and being more particularly described as follows;

BEGINNING at a point at the southwest corner of said Your Home Builder, Inc. tract and the northwest corner of a tract of land described in a deed to Rogerick R. Johnson and Manivone Visisombath as recorded in Instrument No. 202100044641, (O.P.R.D.C.T.) and on the east right-of-way line of S. Westmoreland Road (a variable width right-of-way), for a corner;

THENCE North 01 degree 30 minutes 58 seconds West along the west line of said Your Home Builder, Inc. tract and the east right-of-way line of said S. Westmoreland Road, a distance of 1,176.69 feet to a point at the northwest corner of said Your Home Builder, Inc. tract and the southwest corner of Lot 4R, Block A, of Everett L. Trees Addition an addition to the City of Glenn Heights, Dallas County, Texas as recorded in Volume 89247, Page 80, Map Records of Dallas County, Texas, for a corner;

THENCE North 89 degrees 49 minutes 20 seconds East along the south line of said Lot 4R, a distance of 243.75 feet to a point at the southeast corner of said Lot 4R, for a corner;

THENCE North 01 degree 14 minutes 36 seconds West, along the east line of said Lot 4R, a distance of 377.60 feet to a point at the northeast corner of said Lot 4R, and the southeast corner of said Lot 3, and the southwest corner of said Lot 5R1, for a corner;

THENCE North 89 degrees 54 minutes 44 seconds East, along the south line of said Lot 5R, a distance of 200.02 feet to a point at the southeast corner of said Lot 5R1 to a point for corner;

THENCE North 01 degree 14 minutes 36 seconds West, along the west line of said Your Home Builder, Inc. tract and the east line of said Lot 5R1, a distance of 658.91 feet to a point at the northwest corner of said Your Home Builder, Inc. tract and the northeast corner of said Lot 5R1 and on the south right-of-way line of W. Bear Creek Road (a variable width right-of-way), for a corner;

THENCE North 89 degrees 38 minutes 30 seconds East, along the north line of said Your Home Builder, Inc. tract, and the south right-of-way line of said W. Bear Creek Road, a distance of 238.34 feet to a point, for corner;

THENCE North 89 degrees 00 minutes 30 seconds East, along the north line of said Your Home Builder, Inc. tract, and the south right-of-way line of said W. Bear Creek Road, a distance of 168.04 feet to a point, for corner;

THENCE North 00 degrees 57 minutes 44 seconds West, a distance of 37.82 feet to a point on the south right-of-way line of said W. Bear Creek Road, for a corner;

THENCE North 88 degrees 59 minutes 02 seconds East, along the north line of said Your Home Builder, Inc. tract, and the south right-of-way line of said W. Bear Creek Road, a distance of 452.22 feet to a point at the northeast corner of said Your Home Builder, Inc. tract and the northwest corner of said Suravaram and Sangu tract, for corner;

THENCE North 89 degrees 08 minutes 00 seconds East, along the north line of said Suravaram and Sangu. tract, and the south right-of-way line of said W. Bear Creek Road, passing at a distance of 484.48 feet, a point at the northeast corner of said Suravaram and Sangu tract and the northwest corner of said Young tract, and continuing along the north line of said Young tract and said south right-of-way line, in all a total cumulative distance of 894.66 feet to the northeast corner of said Young tract;

THENCE 01 degrees 46 minutes 44 seconds East, along the east line of said Young tract, a distance of 2,601.93 feet to the southeast corner of same;

THENCE North 89 degrees 22 minutes 37 seconds West, along the south line of said Yong tract, passing at a distance of 408.21 feet the southwest corner of said Young tract and southeast corner of said Suravaram and Sangu tract, and continuing along the south line of said Suravaram and Sangu tract and on the north line of said Replat of Meadow Spings, Phase 2 addition, in all a total cumulative distance of 921.73 feet to a point at the southwest corner of said Suravaram and Sangu tract and the southeast line of a tract of land described in a deed to Eric O. Gomez and wife, Olivama Gomez, as recorded in Inst. No. 202000173147 (O.P.R.D.C.T.), for a corner;

THENCE North 01 degree 11 minutes 33 seconds west along the west line of said Suravaram and Sangu tract and the east lines of said Gomez tract and said Johnson and Visisombath tract, a distance of 320.75 feet to a point at the southeast corner of said Your Home Builder, Inc. tract and the northeast corner of said Johnson and Visisombath tract to a point for corner;

THENCE South 89 degrees 40 minutes 20 seconds West, along the south line of said Your Home Builder, Inc. tract and the north line of said Johnson and Visisombath tract a distance of 1,295.00 feet to the POINT OF BEGINNING AND CONTAINING 111.6060 acres and 4,861,556 square feet, more or less.

METES AND BOUNDS DESCRIPTION:

BEING a tract of land situated in the William Rawlings Survey, Abstract No. 1205 in the City of Glenn Heights, Dallas County, Texas, and being all of a tract of land described in a deed to Your Home Builder, Inc. as recorded in Instrument No. 20070138404 of the Official Public Records of Dallas County, Texas, (O.P.R.D.C.T.) and being all of a tract of land described in a deed to Sudha Reddy Suravaram and Yojana Rani Sangu as recorded in Instrument No. 201600127111 (O.P.R.D.C.T.) and being all of that tract of land described in Probate to William Patrick Young and Mary Kathleen Young, as described in Partition Deed recorded in Volume 96079, Page 3070, D.R.D.C.T., and being more particularly described as follows:

BEGINNING at a point at the southwest corner of said Your Home Builder, Inc. tract and the northwest corner of a tract of land described in a deed to Rogerick R. Johnson and Manivone Visisombath as recorded in Instrument No. 202100044641, (O.P.R.D.C.T.) and on the east right-of-way line of S. Westmoreland Road (a variable width right-of-way), for a corner;

THENCE North 01 degree 30 minutes 58 seconds West along the west line of said Your Home Builder, Inc. tract and the east right-of-way line of said S. Westmoreland Road, a distance of 1,176.69 feet to a point at the northwest corner of said Your Home Builder, Inc. tract and the southwest corner of Lot 4R, Block A, of Everett L. Trees Addition addition to the City of Glenn Heights, Dallas County, Texas as recorded in Volume 89247, Page 80, Map Records of Dallas County, Texas, for a corner;

THENCE North 89 degrees 49 minutes 20 seconds East along the south line of said Lot 4R, a distance of 243.75 feet to a point at the southeast corner of said Lot 4R, for a corner;

THENCE North 01 degree 14 minutes 36 seconds West, along the east line of said Lot 4R, a distance of 377.80 feet to a point at the northeast corner of said Lot 4R, and the southeast corner of said Lot 3, and the southwest corner of said Lot 5R1, for a corner;

THENCE North 89 degrees 54 minutes 44 seconds East, along the south line of said Lot 5R, a distance of 200.02 feet to a point at the southeast corner of said Lot 5R1 to a point for corner;

THENCE North 01 degree 14 minutes 36 seconds West, along the west line of said Your Home Builder, Inc. tract and the east line of said Lot 5R1, a distance of 658.91 feet to a point at the northwest corner of said Your Home Builder, Inc. tract and the northeast corner of said Lot 5R1 and on the south right-of-way line of W. Bear Creek Road (a variable width right-of-way), for a corner;

THENCE North 89 degrees 38 minutes 30 seconds East, along the north line of said Your Home Builder, Inc. tract, and the south right-of-way line of said W. Bear Creek Road, a distance of 238.34 feet to a point, for corner;

THENCE North 89 degrees 00 minutes 30 seconds East, along the north line of said Your Home Builder, Inc. tract, and the south right-of-way line of said W. Bear Creek Road, a distance of 168.04 feet to a point, for corner;

THENCE North 00 degrees 57 minutes 44 seconds West, a distance of 37.82 feet to a point on the south right-of-way line of said W. Bear Creek Road, for a corner;

THENCE North 88 degrees 59 minutes 02 seconds East, along the north line of said Your Home Builder, Inc. tract, and the south right-of-way line of said W. Bear Creek Road, a distance of 452.22 feet to a point at the northeast corner of said Your Home Builder, Inc. tract and the northwest corner of said Suravaram and Sangu tract, for corner;

THENCE North 89 degrees 08 minutes 00 seconds East, along the north line of said Suravaram and Sangu tract, and the south right-of-way line of said W. Bear Creek Road, passing at a distance of 484.48 feet, a point at the northeast corner of said Suravaram and Sangu tract and the northwest corner of said Young tract, and continuing along the north line of said Young tract and said south right-of-way line, in all a total cumulative distance of 894.66 feet to the northeast corner of said Young tract;

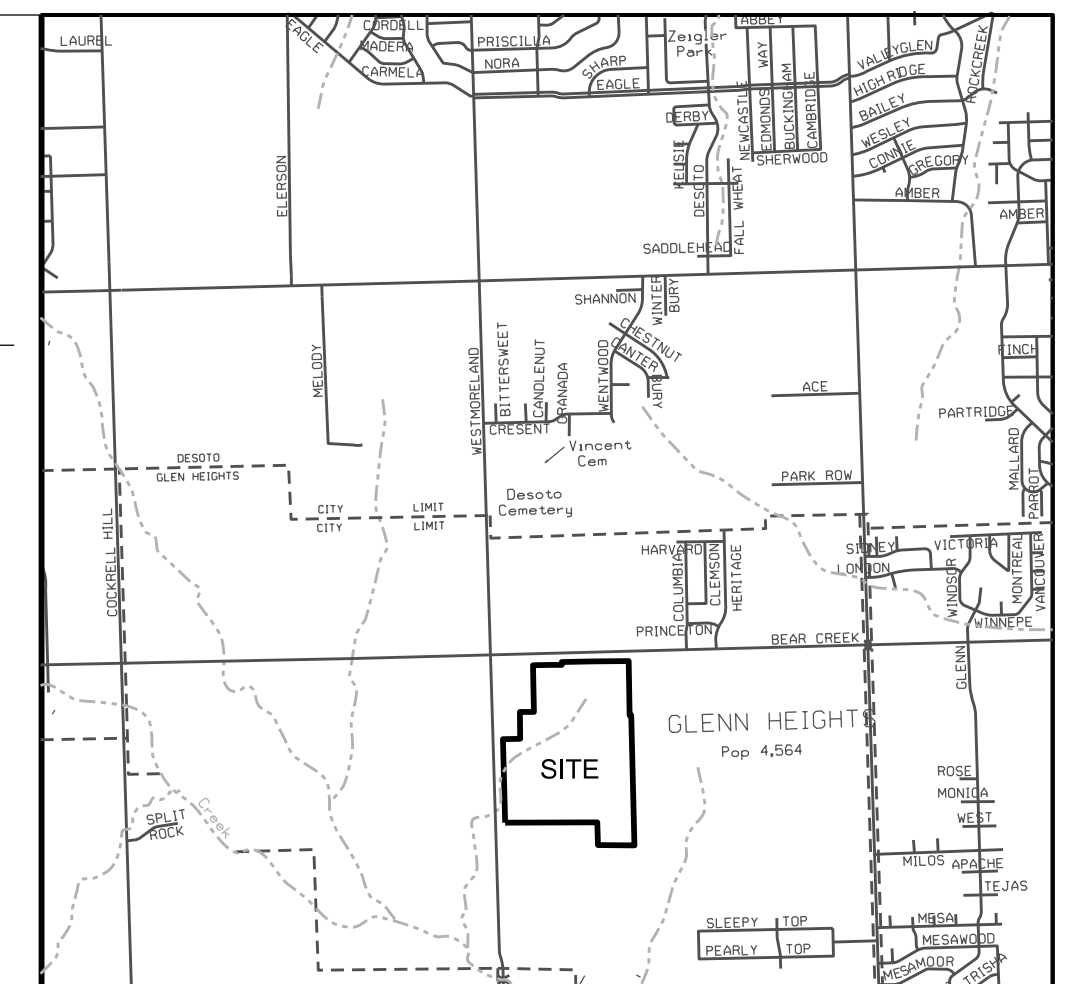
THENCE 01 degrees 46 minutes 44 seconds East, along the east line of said Young tract, a distance of 2,601.93 feet to the southeast corner of same;

THENCE North 89 degrees 22 minutes 37 seconds West, along the south line of said Young tract, passing at a distance of 408.21 feet the southwest corner of said Young tract and southeast corner of said Suravaram and Sangu tract, and continuing along the south line of said Suravaram and Sangu tract and on the north line of said Replat of Meadow Springs, Phase 2 addition, in all a total cumulative distance of 921.73 feet to a point at the southwest corner of said Suravaram and Sangu tract and the southeast line of a tract of land described in a deed to Eric O. Gomez and wife, Olivama Gomez, as recorded in Inst. No. 202000173147 (O.P.R.D.C.T.), for a corner;

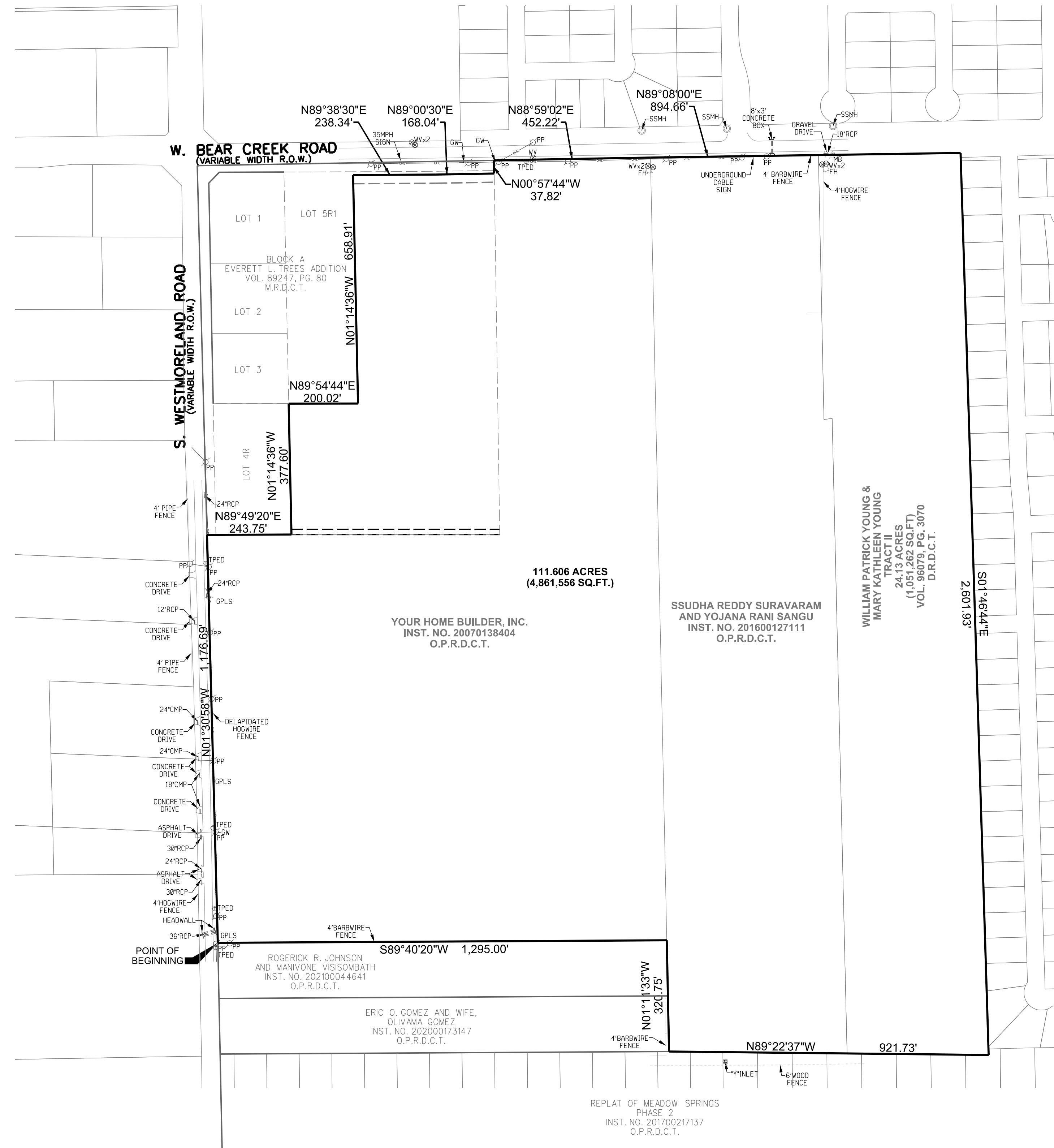
THENCE North 01 degree 11 minutes 33 seconds west along the west line of said Suravaram and Sangu tract and the east lines of said Gomez tract and said Johnson and Visisombath tract, a distance of 320.75 feet to a point at the southeast corner of said Your Home Builder, Inc. tract and the northeast corner of said Johnson and Visisombath tract to a point for corner;

THENCE South 89 degrees 40 minutes 20 seconds West, along the south line of said Your Home Builder, Inc. tract and the north line of said Johnson and Visisombath tract a distance of 1,295.00 feet to the POINT OF BEGINNING AND CONTAINING 111.6060 acres and 4,861,556 square feet, more or less.

0' 100' 200' 400' N
1" = 200'



VICINITY MAP
NOT TO SCALE



111.606 ACRES
(4,861,556 SQ.FT.)

YOUR HOME BUILDER, INC.
INST. NO. 20070138404
O.P.R.D.C.T.

SSUDHA REDDY SURAVARAM
AND YOJANA RANI SANGU
INST. NO. 201600127111
O.P.R.D.C.T.

WILLIAM PATRICK YOUNG &
MARY KATHLEEN YOUNG
TRACT II
24.13 ACRES
(1,051,262 SQ.FT.)
VOL. 96079, PG. 3070
D.R.D.C.T.

ROGERICK R. JOHNSON
AND MANIVONE VISISOMBATH
INST. NO. 202100044641
O.P.R.D.C.T.

ERIC O. GOMEZ AND WIFE,
OLIVAMA GOMEZ
INST. NO. 202000173147
O.P.R.D.C.T.

REPLAT OF MEADOW SPRINGS
PHASE 2
INST. NO. 201700217137
O.P.R.D.C.T.

LEGEND

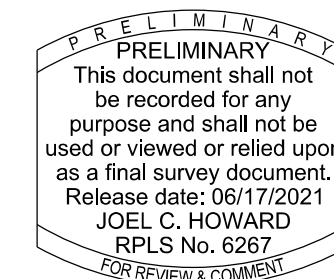
O.P.R.D.C.T.	OFFICIAL PUBLIC RECORDS OF DALLAS COUNTY, TEXAS
D.R.D.C.T.	DEED RECORDS OF DALLAS COUNTY, TEXAS
M.R.D.C.T.	MAP RECORDS OF DALLAS COUNTY, TEXAS
SQ.FT.	SQUARE FEET
VOL.	VOLUME
R.O.W.	RIGHT OF WAY
PG.	PAGE
INST.	INSTRUMENT
NO.	NUMBER
IRF	IRON ROD FOUND
SIR	SET 1/2" IRON ROD WITH YELLOW CAP STAMPED "GEONAV"
WV	WATER VALVE
PP	POWER POLE
STMH	STORM SEWER MANHOLE
TPED	TELEPHONE PEDESTAL
FH	FIRE HYDRANT
WM	WATER METER
SSMH	SANITARY SEWER MANHOLE
MB	MAIL BOX
GW	GUY WIRE
RCP	REINFORCED CONCRETE PIPE
CMP	CORRIGATED METAL PIPE
GPLS	GAS PIPELINE SIGN

To: _____

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1.2, 3.4, 5(a), 5(b), 7(a), 8.9, 10(a), 11, 13, 16, and 19 of Table A thereof. The fieldwork was completed on _____

Date of Plat or Map: June 17, 2021

Joel C. Howard
Texas RPLS No. 6267



**ALTA/NSPS SURVEY
OF
111.606 ACRES
CITY OF GLENN HEIGHTS
DALLAS COUNTY, TEXAS
WILLIAM RAWLINGS SURVEY
ABSTRACT NO. 1205**

DATED: 06/17/2021 DRAWN BY: LEO



SURVEYING • MAPPING • SCANNING

3410 MIDCOURT RD., STE 110; CARROLLTON, TEXAS 75006
SCALE: 1"=200' (972)243-2409 PROJECT #2214
TBPLS FIRM NO. 10194205

Exhibit “B” – Development Regulations

PLANNED DEVELOPMENT DISTRICT REGULATIONS

Valencia Estates

**South East Corner of Bear Creek and Westmoreland
City of Glenn Heights, Texas.**

MAY 2025

PURPOSE:

The Proposed Planned Development district is a mixed-use development located at the South East corner of South Westmoreland comprised of 112.23 acres.

The site is currently zoned as PD for apartments, townhouses, and single family on partially platted vacant land.

The intent of this PD is to replace the townhouse portion of the existing PD with single family, and to revise to the single family street configurations.

GENERAL CONDITIONS:

All proposed development shall match the basic Comprehensive Zoning Ordinance of the City of Glenn Heights except special provisions mentioned in the PD regulation. Regulations which are not mentioned but applicable for general development purposes to be followed according to the City of Glenn Heights Code of Ordinances.

This planned Development District shall not affect any regulations within the Code of Ordinances, except as specifically provided herein. All regulations not specifically defined in this PD will be subject to the City of Glenn Heights Code of Ordinances.

In the event of a conflict or inconsistency between the written provisions of the enabling Ordinance of these Regulations and the provisions of the City of Glenn Heights' Comprehensive Zoning Ordinance, the provisions and intent of the enabling Ordinance No. O-11-25 shall prevail.

ALLOCATION OF LAND USES:

Proposed Planned development over 112.23 acres accommodates following development types:

1. Single Family Zoning District-SF-3 with 9,000 sq. ft. lots
2. Single Family Zoning District SF-4 with 5,500 sq. ft. lots
3. Multifamily Zoning District -MF

The Single Family development will be constructed in two (2) phases. The Multifamily development can occur as soon as all required infrastructure (streets, water, wastewater, and drainage facilities) have been constructed, inspected, and accepted by the city.

All proposed development shall match the basic Comprehensive Zoning Ordinance of the City of Glenn Heights.

List of PD Zoning Districts by Use:

Land Use	Land Area (approx.) In Acres	*Minimum Dwelling Unit Size/sq.ft	Number of Lots/Units	% of Land Area
Single Family Zoning District SF-3 (9,000 sq. ft. lots)	88.40 total single family	1,850	69	80.1%
Single Family Zoning District SF-4 (5,500 sq. ft. lots)	88.40 total single family	1,500	333	80.1%
Multifamily Zoning District	21.95	See details in Multifamily District	Maximum of 400	19.9%

* Dwelling unit size is the air-conditioned living space exclusive of the two car garage

Both the Single Family development and the Multifamily development shall include a minimum of 15 percent Parks/Green Space/Pond areas.

SINGLE FAMILY ZONING DISTRICT

Single Family Zoning District is proposed on 89.40 acres Located east and south of the Multifamily District starting from S. Westmoreland Drive at the West and ending along the property line with Maple Wood subdivision at the East

There is one street connections proposed from S. Westmoreland Road and two street connections proposed to W. Bear Creek Road There is an existing natural water body meandering through the property. Park, amenities like gazebo, Kids' Playground and sitting place, 8' wide

waking trail and parking are proposed under this development.

Planned Development – Single Family District SF-3 -(Minimum 9,000 sq. ft. lots)		
<i>Lot Configuration</i>	Requirement	Provided
Minimum Lot Area	9,000 sq ft with 11,000 sq. ft. average	9,000 sq. ft.
Minimum Lot Width	70 ft (except for cul-de-sac lots)	60 ft.
Minimum Lot Depth	120 ft (except at cul-de-sac lots)	120 ft.
<i>Yard Requirements</i>		
Front Yard	30 ft	20 ft
Side Yard	8 ft	5 ft
Side Yard of Corner Lots	15 ft	10 ft
Rear Yard	20 ft	15 ft
<i>Others</i>		
Minimum Floor Area per Dwelling Unit	1,750 sq ft with 1,850 sq. ft. average	1,850 sq. ft.
Maximum Lot Coverage of Building Structure	40%	40%
Height of Main Structure	2.5 stories or 35 ft	2.5 stories or 35 ft
Height of Accessory Structures	15 ft	15 ft
Maximum Density	Max of 3.5 units per acre	5 units per acre
Trees	Two large shade trees and Two medium trees in rear yard	Two large shade trees and Two medium trees in rear yard
Sod	None	Front, side, and rear yards

**Planned Development – Single Family District SF-4
-(Minimum 5,500 sq. ft. lots)**

Lot Configuration	Requirement	Provided
Minimum Lot Area	7,500 sq ft	5,500 sq. ft.
Minimum Lot Width	70 ft	70 ft (except for cul-de-sac lots)
Minimum Lot Depth	100 ft (except for cul-de-sac lots)	100 ft (except for cul-de-sac lots)
Yard Requirements		
Front Yard	25 ft	20 ft
Side Yard	10% or 5 ft	5 ft
Side Yard of Corner Lots	15 ft	10 ft
Rear Yard	20 ft	15 ft
Others		
Minimum Floor Area per Dwelling Unit	1,550 sq. ft with 1,700 sq. ft. average	1,500 sq. ft.
Lot Coverage of Building Structure	35% for main building and 60% for all impervious areas	50% for main building
Height of Main Structure	2.5 stories or 35 ft	2.5 stories or 35 ft
Height of Accessory Structures	15 ft	15 ft.
Maximum Density	Max of 3.5 units per acre	5 units per acre
Trees	Two large shade trees and Two medium trees in rear yard	One 3" caliper tree in front yard Two 3" caliper trees in rear yard
Sod	None	Front, side, and rear yards

1.00. SPECIAL CONDITIONS: SINGLE FAMILY DISTRICT:

- A. *Max. Number of Stories to be 2 with 35 ft maximum height.*
- B. *Maximum number of single-family dwelling units per acre shall be 5 units/acre.*
- C. *All homes are front accessed with Front-loading covered parking garage inside the building.*
- D. *Min. 18' concrete driveway for each dwelling units.*
- E. *Required 20 ft garage setback and 20 ft front building setback for each dwelling units.*
- F. *Accessory buildings in the rear yard must be a minimum of 5 feet from any side or rear lot line.*
- G. *A community park with gazebo, kids' playground and accessories like bench, trash containers to be built on provided open space area. See Exhibit F for benches and trash containers. See Exhibit G for gazebo/canopy structure. See Exhibit H for type of playground equipment. Separate playground equipment shall be installed for different age groups.*
- H. *USPS (United States Postal Service) approved mailboxes on decorative post to be installed at the back of the curb. See Exhibit E.*
- I. *Parking to be provided with 15 min. parking time limit sign to be posted to facilitate mail pickup and drop off.*
- J. *A Home Owner's association (HOA) to be established by the developer and it's operation to be to handed over to Home owners once minimum 50% of homes are sold and occupied. HOA should maintain all Landscape, Hardscape, Green area/park and drainage channels after developer transfer the responsibility to HOA.*

- K. Small shrubs and Ornamental small tree to be planted and maintained by the developer and HOA to take over the maintenance after transferring authority to HOA association.*
- L. At least four different Building Elevations to be used and none of the floor plan can be repeated next to each other and exact opposite to the other side of the street.*
- M. No alleys shall be required within this District, and all homes shall be front entry.*
- N. Lots which back or side facing into parks shall provide a 8' wood fence of uniform design and to be installed by the homebuilder.*
- O. Amenity building: See Multifamily Development District.*

1.01. Entry Feature-

Monument signs with Single Family Development name and logo to be installed at the entrance from S. Westmoreland Road and the boulevard entrance from W. Bear Creek Road. See Exhibit B. Monument signs must comply with the City of Glenn Heights monument sign regulations. Monument sign to be installed within median in boulevard entrances.

All entry features shall have separate transformer for lightning the sign at night. Landscaping to be provided around entry features. Individual irrigation meter and pvc conduits across the driveway to be installed. HOA to maintain the entry monuments signs, landscaping, irrigation system, and pay the cost of electricity and water.

1.02. Street Name and sign-

Decorative Street Sign on round post to be installed at the crossing of streets. Stop sign to be installed on minor streets as per City standard. See Exhibit C.

1.03. Street Light-

All proposed street light shall be decorated Street Light fixture by Brandon Industries, equivalent alternative or ONCOR recommended street light. Street Light to be installed at all road crossing and at every 200ft interval.

All lights have to be 55-W equivalent Led light with 3000K or above brightness. See Exhibit D.

For Single Family development, street light category CL7-AMG, CL6-AG or equivalent to be installed.

1.04. Maintenance of the Park/Common Areas, Detention Ponds, and Drainage Creeks

Maintenance of the park/common areas will be the responsibility of the homeowners' association (HOA) of the single family development.

Until 50% lots are developed and tenants are occupied, Developer will be the contact entity with the City for all concerns regarding maintenance of park and open space until HOA control is turned over to the homeowners.

HOA maintenance and responsibilities of amenities include:

- Periodic Clean up and litter removal.
- Landscaping installation, care, and maintenance.
- Maintain common area and park by periodic grass cutting and trash removal.
- Irrigation system Maintenance, repair and pay for the meter and water usage.
- Maintain benches, trash cans, gazebo, cluster mail box units placed at the Common areas. See Exhibit E.
- Maintain and pay for the electricity used for the lighting at the entry feature.
- Maintain all detention ponds and drainage channels (include retaining walls.)

2.0. GENERAL DESIGN STANDARDS:

2.01. Building Permits-

All development of and construction within the Planned Development will be subject to obtaining building permits from the City of Glenn Heights and satisfy all city design criteria and standards.

2.02. District Size-

There are 88.33 acres as shown in the single family development.

2.03. Density-

The maximum density for the single-family development shall be 5 lots per acre.

2.04. Unit Floor Area-

Single-family Development consists of individual single-family homes with wide ranges of sizes and designs. The minimum floor area of each home shall be 1,500 sq.ft. for lots with an area less than 9,000 sq.ft. The minimum floor area of each home shall be 1,850 sq.ft. for lots with an area of 9,000 sq.ft. and larger. There is no maximum dwelling size.

2.05. Roof -

Single-family Development consists of individual single-family homes with high pitch roof (minimum roof pitch of 8:12) on primary pitches

2.07. Maximum Lot Coverage-

A maximum lot coverage (main structure) of 40% shall be allowed for each lot with an area of 9,000 sq. ft. or larger. A maximum lot coverage (main structure, drives, patio, and accessory structure) of 50% shall be allowed for each lot with an area of 9,000 sq. ft. or larger.

A maximum lot coverage (main structure) of 50% shall be allowed for each lot with an area of less than 9,000 sq. ft. A maximum lot coverage (main structure, drives, patio, and accessory structure) of 65% shall be allowed for each lot with an area of less than 9,000 sq. ft.

2.08. Parking-

Private- At least two garage parking inside the home shall be provided. A min. 20' building and garage setback would allow two cars parked outside on the driveway. On street parking on either side of the road would be allowed.

Public Parking- Public parking is provided along the park and amenities area. No parking after midnight to be allowed on any public parking area.

2.09. Sidewalks-

All private sidewalks to be built as part of the individual lot development. The minimum width of any private sidewalk shall be four (4') feet inside the residential area. All public sidewalk including sidewalk connecting all parks and amenities and other development to be built with the single-family development. All public sidewalks within any street right-of-way shall have a minimum width of 5 feet.

2.10. Minimum Exterior Construction Standards-

All exterior wall elevations of each primary structure shall consist of sixty percent (60%) masonry material which include brick, stone, granite or marble, stucco; excluding doors and windows and balconies. Siding may consist of no more than forty percent (40%) of all exterior wall elevations.

2.11 Transformer Screening-

Transformers to be placed inside proposed 10 ft Utility Easement at the front of the property. Transformer to be placed along the common property line between two homes such that it's location doesn't interfere with proposed driveways. All transformers to be screened with 4' evergreen shrubs.

2.12 Fencing & Screening-

All fencing within the single family development shall be a cedar wood fence with metal post on 10 ft on centers (or less), with the exception of lots that abut a drainage creek or detention pond. Those lots may have may have a wrought iron fence with a height of 4 to 6 feet. Lots that abut open space (park area) shall have an 8' tall cedar wood fence. All other residential fencing shall be cedar wood fence with a height of 6 feet.

3.0 Landscape and Irrigation Requirements-

3.01 Landscape requirements-

A separate Landscape plan to be provided for City review. Native and drought tolerant plants will be planted per approved Glenn Heights plant List. However, evergreen shrubs and evergreen trees are highly preferred in the front-yard. A minimum of one 3 inch caliper tree to be planted in the front yard and two inch caliper trees in the backyard. A single tree in the front yard shall be an evergreen tree. Any other trees in the front can be any other tree if more than one tree is planted in the front yard.

Evergreen Conical trees such as Eastern Red Ceder, Arizona Cypress, Juniper, Colorado Blue Spruce are preferred.

3.02. Irrigation-

An automatic irrigation system is required for each residence.

4.00. Site Plan Approval-

No further Site Plan approval will be required as long as the concept and functionality of the Site plan as shown on the SINGLE FAMILY concept plan is followed.

Anticipated Single Family Elevation



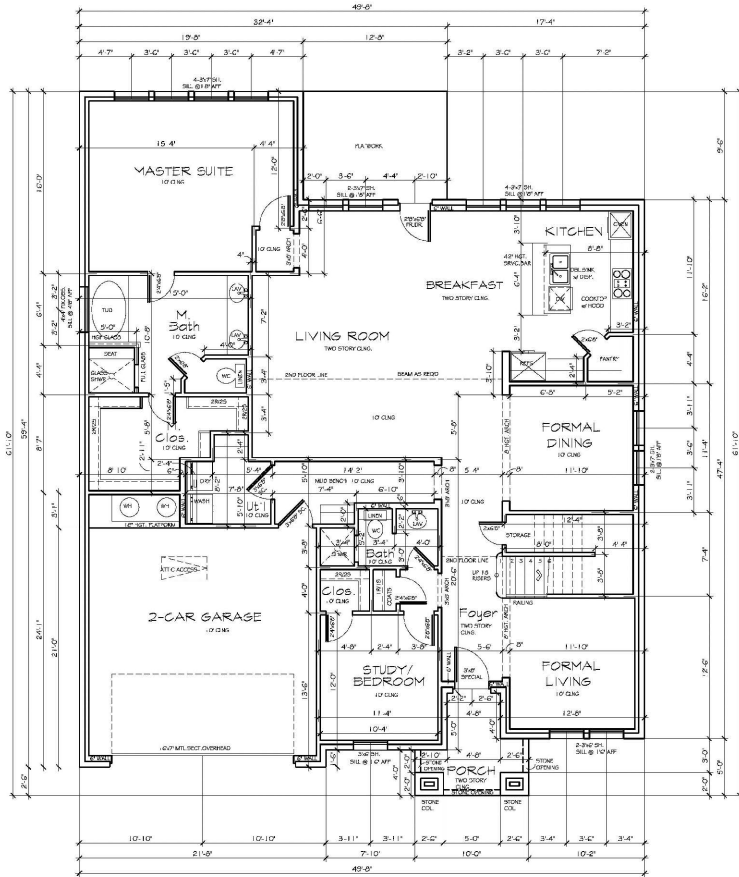
Example Single Family plans and Elevations



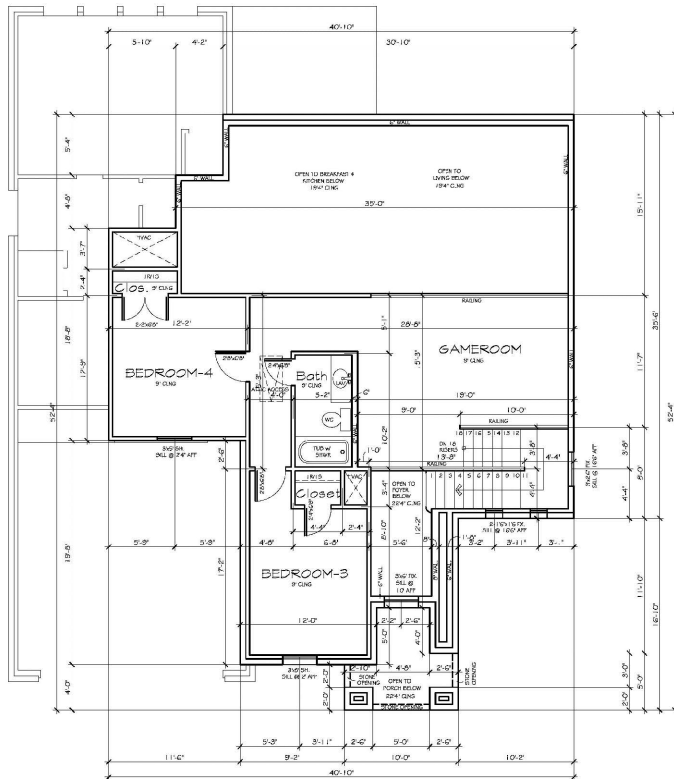
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION



FIRST FLOOR PLAN



SECOND FLOOR PLAN

MULTIFAMILY ZONING DISTRICT

Proposed multifamily development is located on the same parcel of land as it was in PD 6 before. The multifamily development will have driveway access to Bear Creek Road and the proposed street along the south side of the multifamily tract. The multifamily development has access to the park and amenities proposed on residential development.

Proposed Multifamily development on 21.28 acres of land includes 3 stories apartment buildings with with a one story office/clubhouse building . The maximum number of apartment units shall be 400.

1. GENERAL DESIGN STANDARDS:

1.01. Building Permits-

All development of and construction within the Planned Development will be subject to obtaining building permits from the City of Glenn Heights and satisfy all city design criteria and standards.

1.02. District Size-

There are 22.22 acres in the MULTIFAMILY district

1.03. Density-

The maximum number of apartment units shall be 400 (or a density of approximately 18.8 units per acre.

1.04. Permitting-

Multifamily Development may developed as soon as the infrastructure for the single family development is complete.

Pond, Open space and Parks on Multifamily district can be developed as part of the Single Family District Development. and to be maintained by respective HOA until Multifamily district is developed and responsibility is shared among all districts.

1.05. Unit Floor Area –

A Multifamily Development dwelling unit shall have a minimum square feet of floor area, excluding common corridors, basements, open and screened porches or decks, and garages as follows:

1. Studio units: 500 square feet.
2. One-bedroom units: 800 square feet.
3. Two-bedroom units: 950 square feet.
4. Three-bedroom units: 1,100 square feet

1.06 Minimum Lot Coverage –

There shall not be a minimum/maximum lot coverage as long as the MULTIFAMILY development standards are followed for the development.

1.07. Building Separation-

The minimum building separation shall be 20 feet unless the MULTIFAMILY development standards, building code, or fire code requires a larger building separation

1.08. Building Length-

There shall not be a minimum/maximum building length as long as the MULTIFAMILY concept plan is followed for development

1.09. Parking-

Parking regulations as provided shall apply to Multifamily Development as follows:

1. One (1) space per studio unit
2. Two (2) spaces per 1-bedroom unit
3. Two (2) spaces per 2-bedroom unit
4. Two and one half (2.5) spaces per 3-bedroom unit
5. One (1) space per 5 units for guest parking
6. Covered parking is not required but encouraged
7. Each standard off-street surface parking space shall be Nine feet by eighteen feet (9' x 20') to comply with the design standards

1.10. Amenity Center/Club House-

Proposed Multifamily development should have an amenity center that should be operated & maintained by the Apartment Office of maintenance.

1.10.A General Condition for Amenity Building:

- A. Amenity building with approximately 1,600 square feet to be built with Apartment complex.
- B. Scope and finish of the building should be consistent with community guidelines established in the PD. The exterior of the building should match with proposed Multifamily building.
- C. There has to be sidewalks surrounding the Amenity Center to provide access from Each individual building.

- D. Amenity Center should have an outdoor space where several *USPS (United States Postal Service)* approved "Cluster Box Units" mail boxes with post mount to be placed. See Exhibit E.
- E. Building shall be maintained by the Multifamily District Management Office (MMO).
- F. Events, hours and rules shall be defined by the Multifamily District operational manual.
- G. Amenity building shall include:
 - (a) Swimming pool with accessories.
 - (b) Work out facility to include tread mills and other workout equipment.
 - (c) Two unisex half bathrooms.
 - (d) Children Play room area.
 - (e) Board Room meeting area.
 - (f) Meeting space for community events.
 - (g) Covered back patio area.
 - (h) Free Wi-Fi internet for clubhouse

1.11. Sidewalks-

The minimum width of any sidewalk shall be five feet (5'). A continuous sidewalk system to be built to access ant part of the development and also to the commercial, residential site and playground.

1.12. Minimum Exterior Construction Standards-

All exterior wall elevations of each primary structure shall consist of sixty percent (60%) masonry material which include brick, stone, granite or marble, stucco; excluding doors and windows and balconies. Siding may consist of no more than forty percent (40%) of all exterior wall elevations.

1.13. HVAC Screening-

All mechanical, heating, and air-conditioning units facing Public Street shall be hidden from public view. Landscape screening, preferably a 4' evergreen shrubs to be provided to cover all Mechanical equipment placed on the ground. Colling and heating unit can also be installed over the roof with access for repair.

1.14. Fencing & Screening-

Decorative wrought Iron fence, matching with other phased development to be installed along the Property and/or along the creek boundary with push button combination lock on security gates provided for pedestrian ingress/egress. The minimum height of the fence shall be four (4) feet with a maximum height of six (6) feet.

Additional landscape screening with evergreen shrubs will be required along with decorative wrought Iron fence wherever Multifamily District boundary is adjacent to the Single Family district.

1.15. Refuse Facilities-

Depending on Final Design of Multifamily District layout, each proposed buildings requires at least one dumpster per building which has to be located at convenient place, screen with Masonry Wall and easily accessible from respective buildings. No dumpster to be faced towards W. Bear Creek Road.

1.16. Landscape Area Requirements-

All landscaping shall comply with the city landscaping requirements. A Landscape plan shall be provided for City review. Native and drought tolerant plants will be planted per approved Glenn Heights plant List. However, Evergreen shrubs and Evergreen trees are highly preferred. Evergreen Conical trees such as Eastern Red Ceder, Arizona Cypress, Juniper, Colorado Blue Spruce are preferred along with wrought iron fence abutting residential development and parks

1.17. Irrigation-

Automatic irrigation system to be installed with the development per City design standard.

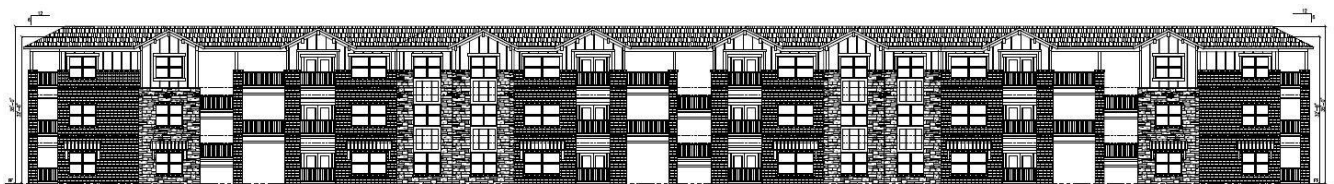
1.18. Park Space-

An open private park with Kids Playground to be constructed near the South East corner of the Zoning District which can be accessed by Single family residents and apartment dwellers. A minimum of 10 standard 9’x20’ parking spaces to be provided for residential dwellers to park next to the kids’ playground.

2.0. Site Plan Approval-

A detail site plan for the Multifamily Development shall be submitted for approval prior to submittal for a building permit. The site plan submittal shall include a site plan, landscape plan, and building elevations.

**Anticipated Multifamily Elevation (only for illustrative purposes):
Three Story Multifamily Shown in Elevation**



PARK/PLAYGROUND/GREEN OPEN SPACE/ POND

A min. of 15% area to be dedicated for Park/green Space/ Pond with Trail system. Maintenance of all Park/Green Space/Pond areas and all amenities within the areas shall be maintained by the apartment owners.

At a minimum, the Park/Green Space/Pond areas should include the following amenities:

- A. Playground equipment suitable to varying age groups
- B. Two (2) park benches
- C. Four (4) foot sidewalks
- D. Five (5) foot pedestrian walking trail
- E. Three (3) grills
- F. Two (2) picnic benches

The Park/Green Space/Pond areas shall be accessible from the single family development through a five (5) foot pedestrian walking trail system.

The location and orientation of parks and ponds may change to comply with City of Glenn Heights specifications, FEMA and USACE regulations and restrictions.

Exhibit B: Monument Sign (Example)



Exhibit C: Street Sign and Post



(Example Picture shows Street Sign by Brandon Industries)

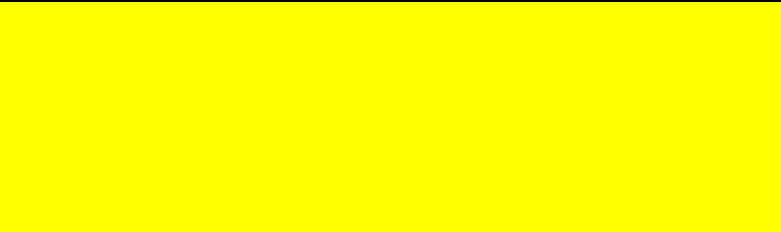
Exhibit D: Street Light

ONCOR Approved LED Street Light Fixture



TSN 475238 Rev. 01/08 Copyright 2008 Oncor Electric Delivery. All Rights Reserved.

Brandon Industries LED Street Light Fixture



CL7-AMG

CL6-AG

CL8-H-02

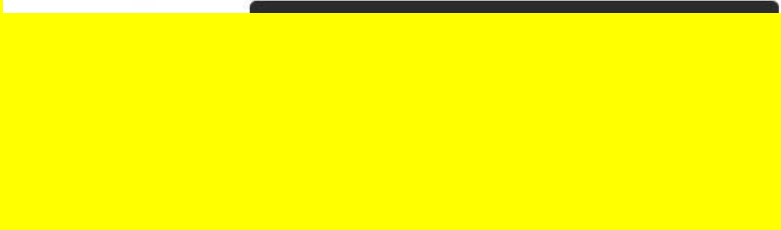


Exhibit E: Decorative Mail Boxes
(Example Picture shows Mail Box by Brandon Industries)

**Post mounted Decorative Mail Box
for Single-Family District**



**Clustered Decorative Mail Box for
Townhome and Multifamily District**



**Clustered Decorative Mail Box under covered canopy
(Townhome and Multifamily District)**



Exhibit F: Bench/Trash Can

(Example Picture shows Trash Can and Bench by SITESCAPES)

Trash Container	Benches
	

Exhibit G: Canopy

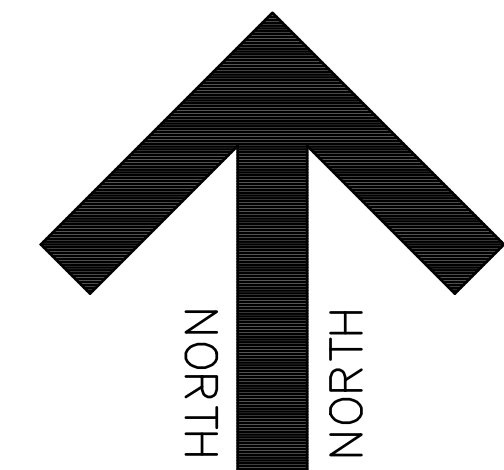


Exhibit H: Kids' Playground

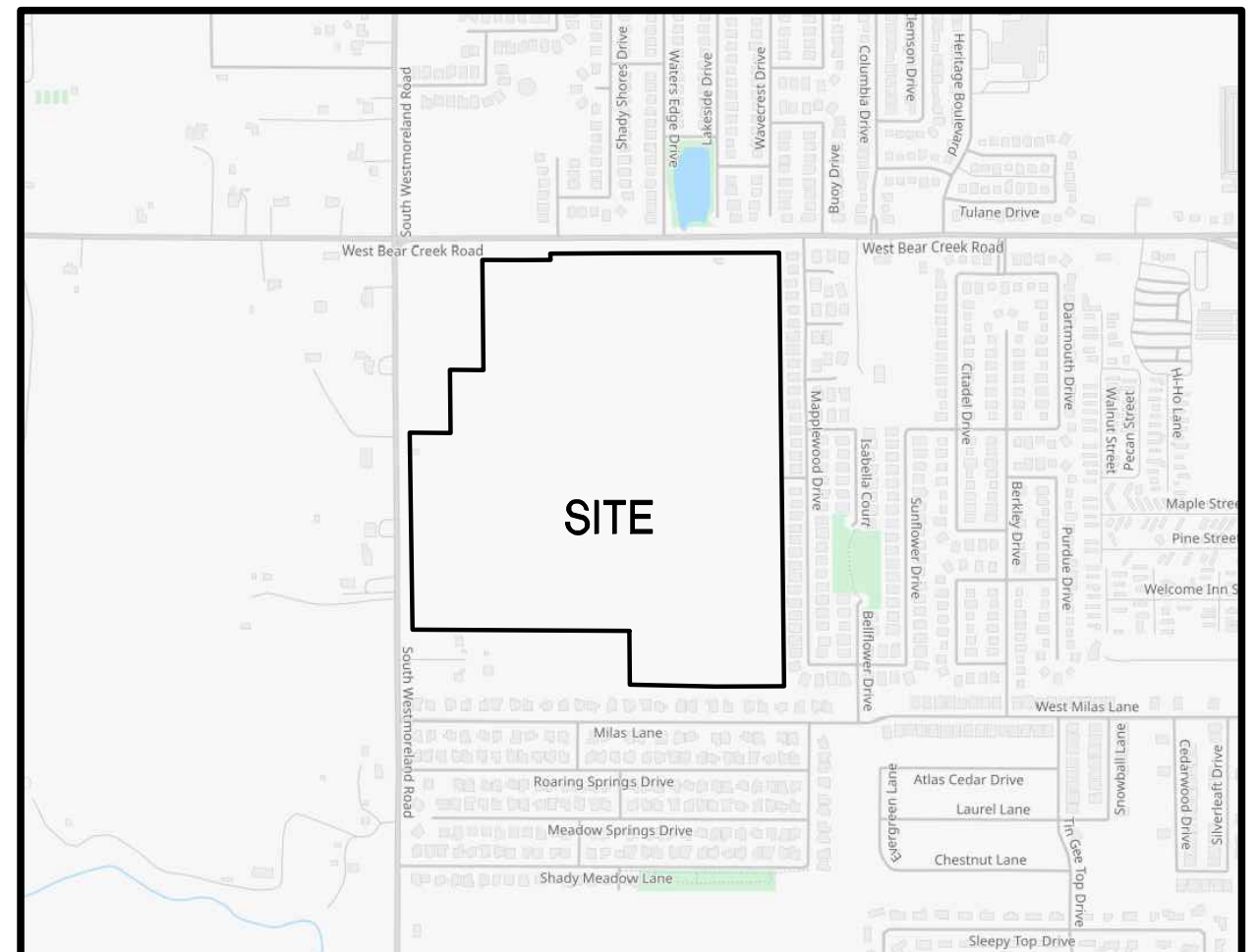


**Exhibit “C”
[Concept Plan]**

4904-8653-6486, v. 1



SCALE: 1" = 140'
 0' 140 280 420
 GRAPHIC SCALE



LOCATION MAP

LAND AREA TABULATION

TOTAL LAND AREA (GROSS)	112.23 ACRES
ROW DEDICATION BEAR CREEK ROAD	0.93 ACRES
ROW DEDICATION WESTMORELAND ROAD	0.95 ACRES
LAND AREA NET OF ROW DEDICATION	110.35 ACRES
LAND AREA OF SINGLE FAMILY (NET ROW DED.)	88.40 ACRES
LAND AREA OF APARTMENTS (NET ROW DED.)	21.95 ACRES

COLOR	PROPOSED LAND USE	NO. OF LOTS/UNITS
[Orange Box]	SINGLE FAMILY	≥ 9,000 SQ FT: 69
		6,000-9,000 SQ FT: 53
		5,500-5,999 SQ. FT.: 280
[Blue Box]	MULTIFAMILY	400 MAXIMUM

PROPOSED LAND USE DISTRICT	BASE ZONING DISTRICT	TOTAL APPROX. LAND AREA (INCLUDING OPEN SPACE)*	APPROX. OPEN/PARK SPACE (% OF AREA)	OPEN/PARK SPACE (MIN. REQUIRED)	MAXIMUM ALLOWABLE DENSITY (UNITS/ACRE)
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DISTRICT 2 MULTIFAMILY RESIDENTIAL	MF/MULTIFAMILY RESIDENTIAL	21.95 ACRES *	NA	15%	18

* AREA IS DEVELOPABLE AREA (NET OF S. WESTMORELAND ROAD AND W. BEAR CREEK ROAD ROW DEDICATIONS). THESE AREAS DO INCLUDE ALL STREET ROW DEDICATIONS WITHIN THE DEVELOPMENT.

LEGEND

- [Orange Box] SINGLE FAMILY LOTS
- [Green Box] OPEN SPACE/PARK AREAS
- [Blue Box] APARTMENT ZONING DISTRICT

- NOTES:
1. Drainage/Flood study will be done during details engineering submittal
 2. A traffic impact analysis will be provided based on proposed density during details engineering submittal.
 3. A Concept/Site Plan for the apartments must be submitted for approval prior to permitting.

REVISIONS:	
4-21-25	REVISE STREET B
5-4-25	REVISE STREET C
5-7-25	REVISE TOTAL AREA

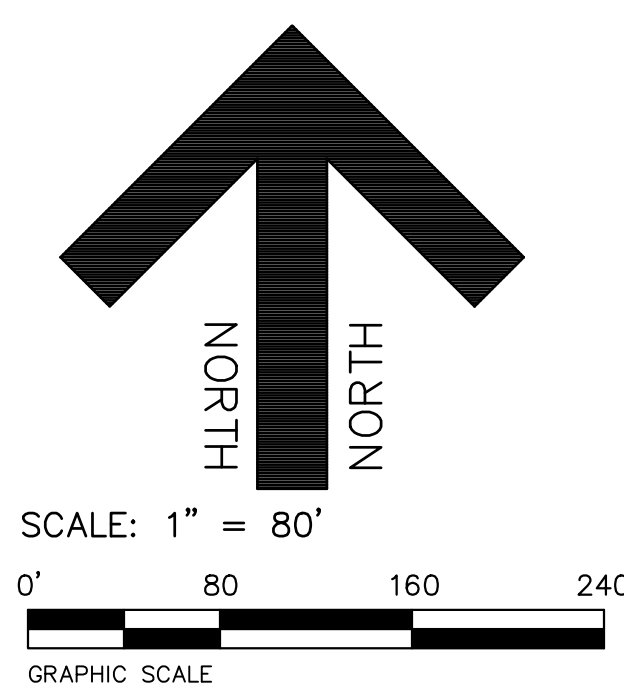
OWNER/DEVELOPER
MARWAN & WAFI SONS, LLC
 6505 SUDBURY ROAD
 PLANO, TEXAS 75024
 CONTACT: DAWOOD JAMEEL
 TEL: 469-435-5656
 email: djameel123@yahoo.com

SHEET TITLE:
EXHIBIT C: CONCEPT PLAN
VALENCIA ESTATES
 SOUTH EAST CORNER OF S WESTMORELAND ROAD
 AND BEAR CREEK ROAD
 CITY OF GLENN HEIGHTS, TEXAS

PREPARED BY:
JDJR ENGINEERS & CONSULTANTS, INC.
 TSBP REGISTRATION NUMBER F-8527

ENGINEERS • SURVEYORS • LAND PLANNERS
 2500 Texas Drive Suite 100 Irving, Texas 75062
 Tel 972-252-5357 Fax 972-252-8958

DATE: JAN. 2025	DRAWN BY: JDJR	SHEET NO.
SCALE: 1" = 140'	CHECKED BY: JDJR	1 OF 4



LAND AREA TABULATION

TOTAL LAND AREA (GROSS) _____ 112.23 ACRES
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COLOR	PROPOSED LAND USE	NO. OF LOTS/UNITS	
	SINGLE FAMILY	≥ 9,000 SQ FT	69
		6,000-9,000 SQ FT	53
		5,500-5,999 SQ. FT.	280
	MULTIFAMILY	400 MAXIMUM	

PROPOSED LAND USE DISTRICT	BASE ZONING DISTRICT	TOTAL APPROX. LAND AREA (INCLUDING OPEN SPACE)*	APPROX. OPEN/PARK SPACE (% OF AREA)	OPEN/PARK SPACE (MIN. REQUIRED)	MAXIMUM ALLOWABLE DENSITY (UNITS/ACRE)
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LEGEND

- SINGLE FAMILY LOTS
- OPEN SPACE/PARK AREAS
- APARTMENT ZONING DISTRICT

NOTES:

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5-4-25	REVISE STREET C
5-7-25	REVISE TOTAL AREA

OWNER/DEVELOPER
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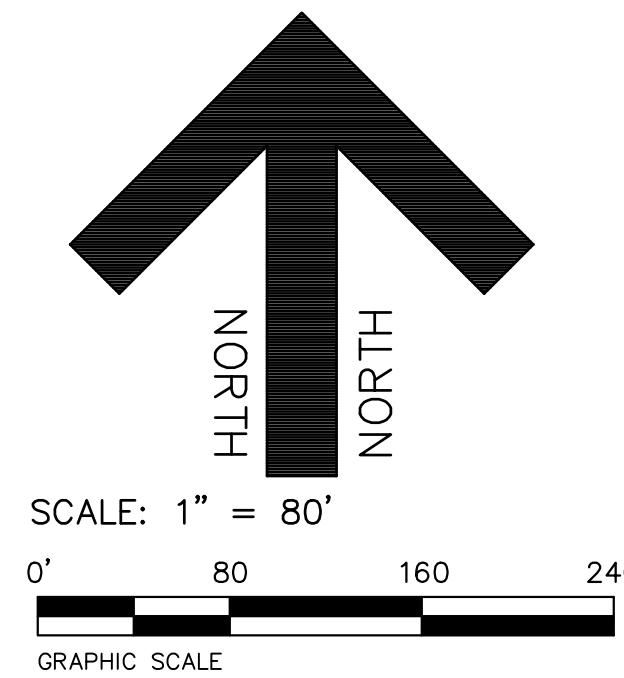
JDJR PREPARED BY:
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SCALE: 1" = 80'	CHECKED BY: JDJR	2 OF 4



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LAND AREA TABULATION

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LEGEND

[Yellow]	SINGLE FAMILY LOTS
[Green]	OPEN SPACE/PARK AREAS
[Blue]	APARTMENT ZONING DISTRICT

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5-4-25	REVISE STREET C
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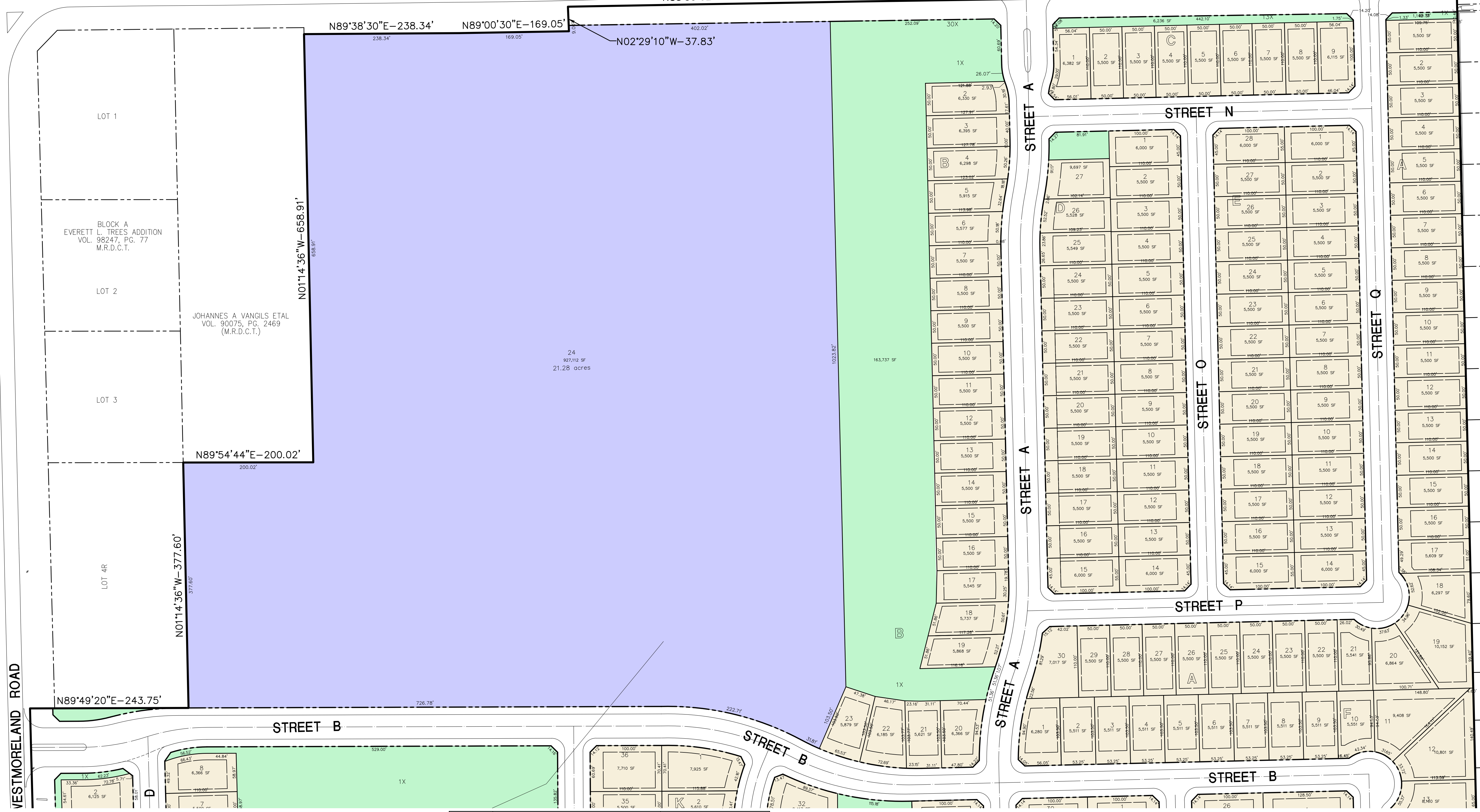
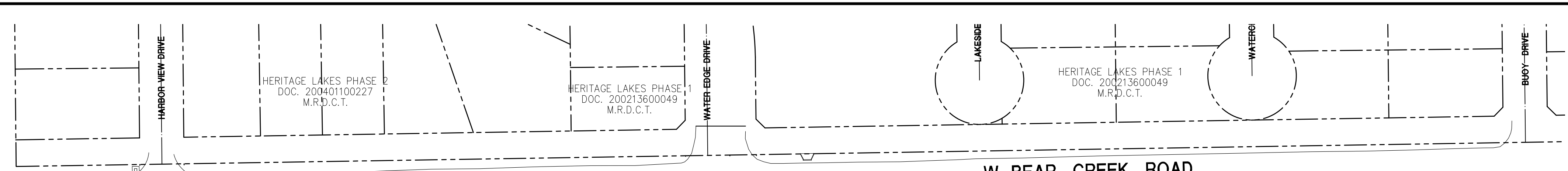
JDJR PREPARED BY:
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 Tel 972-252-5357 Fax 972-252-8958

DATE: JAN. 2025	DRAWN BY: JDJR	SHEET NO.
SCALE: 1" = 80'	CHECKED BY: JDJR	3 OF 4

REPLAT OF MEADOW SPRINGS
 PHASE 2
 INST. NO. 201700217137
 O.P.R.D.C.T.

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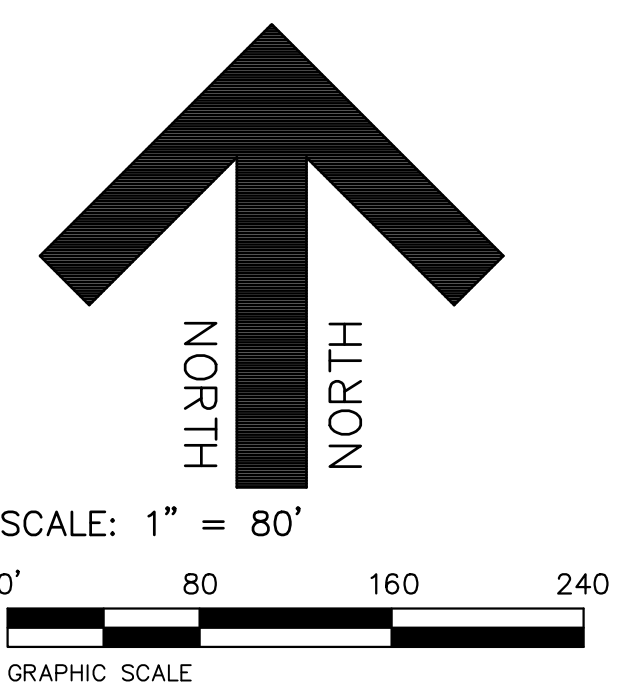
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LEGEND

- SINGLE FAMILY LOTS
- OPEN SPACE/PARK AREAS WITHIN THE SINGLE FAMILY DEVELOPMENT
- APARTMENT ZONING DISTRICT

REVISIONS:

4-21-25	REVISE STREET B
5-4-25	REVISE STREET C
5-7-25	REVISE TOTAL AREA



SHEET TITLE:

EXHIBIT C: CONCEPT PLAN
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 SOUTH EAST CORNER OF S WESTMORELAND ROAD
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DATE: JAN. 2025	DRAWN BY: JDJR	SHEET NO.
SCALE: 1" = 80'	CHECKED BY: JDJR	4 OF 4

THE MEADOWS ON BEAR CREEK ZONE CHANGE



PARVIZ R POURAZIZIAN, DIRECTOR OF PLANNING &
DEVELOPMENT SERVICES

JULY 15, 2025

ZONE CHANGE



Applicant: Maxwell Fisher

Location: 928 E Bear Creek Road

Request: Zone Change (SF-1 to Sf-3)

Acres: 15.52+/- Ac.

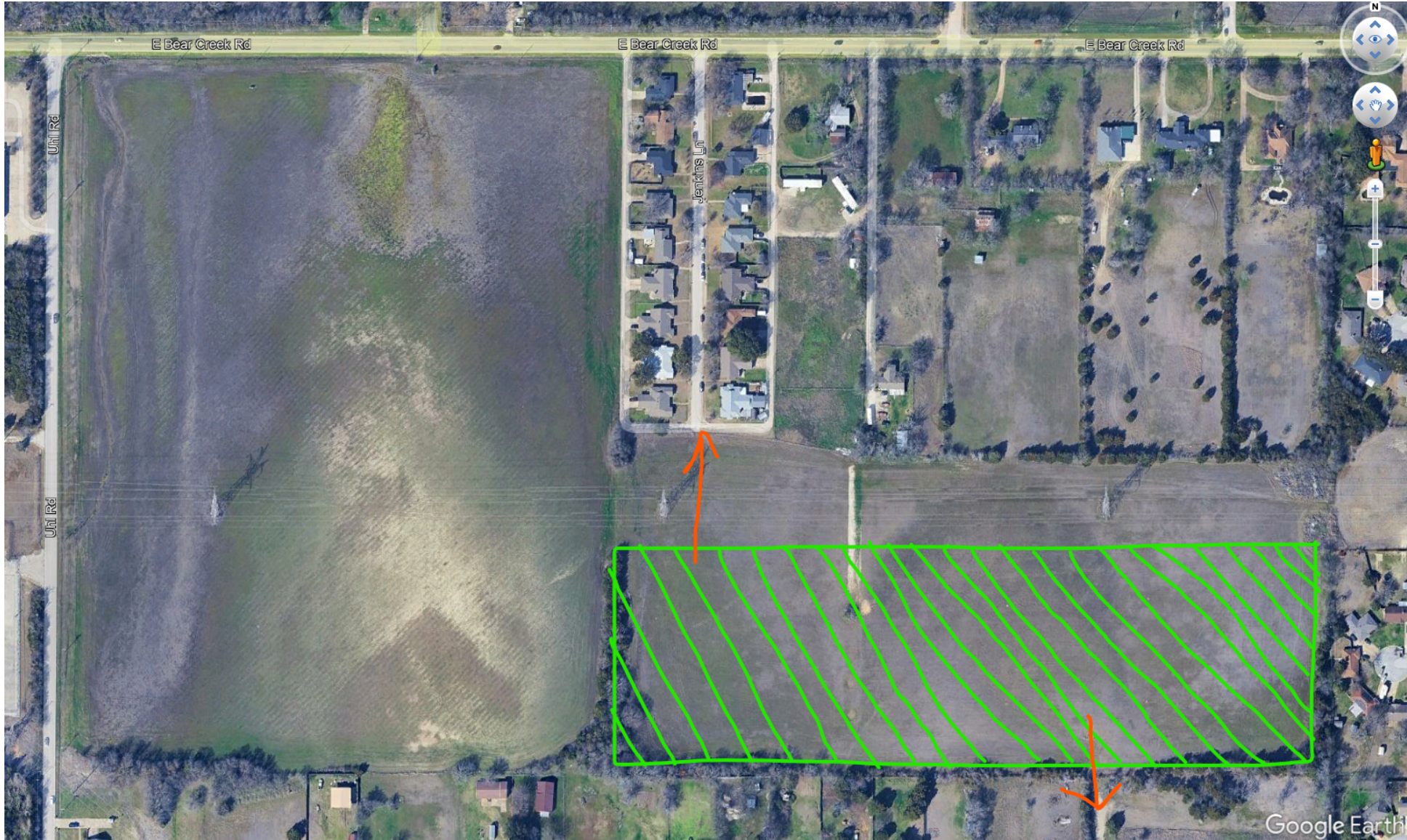
Zone: SF-1 to Sf-3

PRELIMINARY AND FINAL PLAT

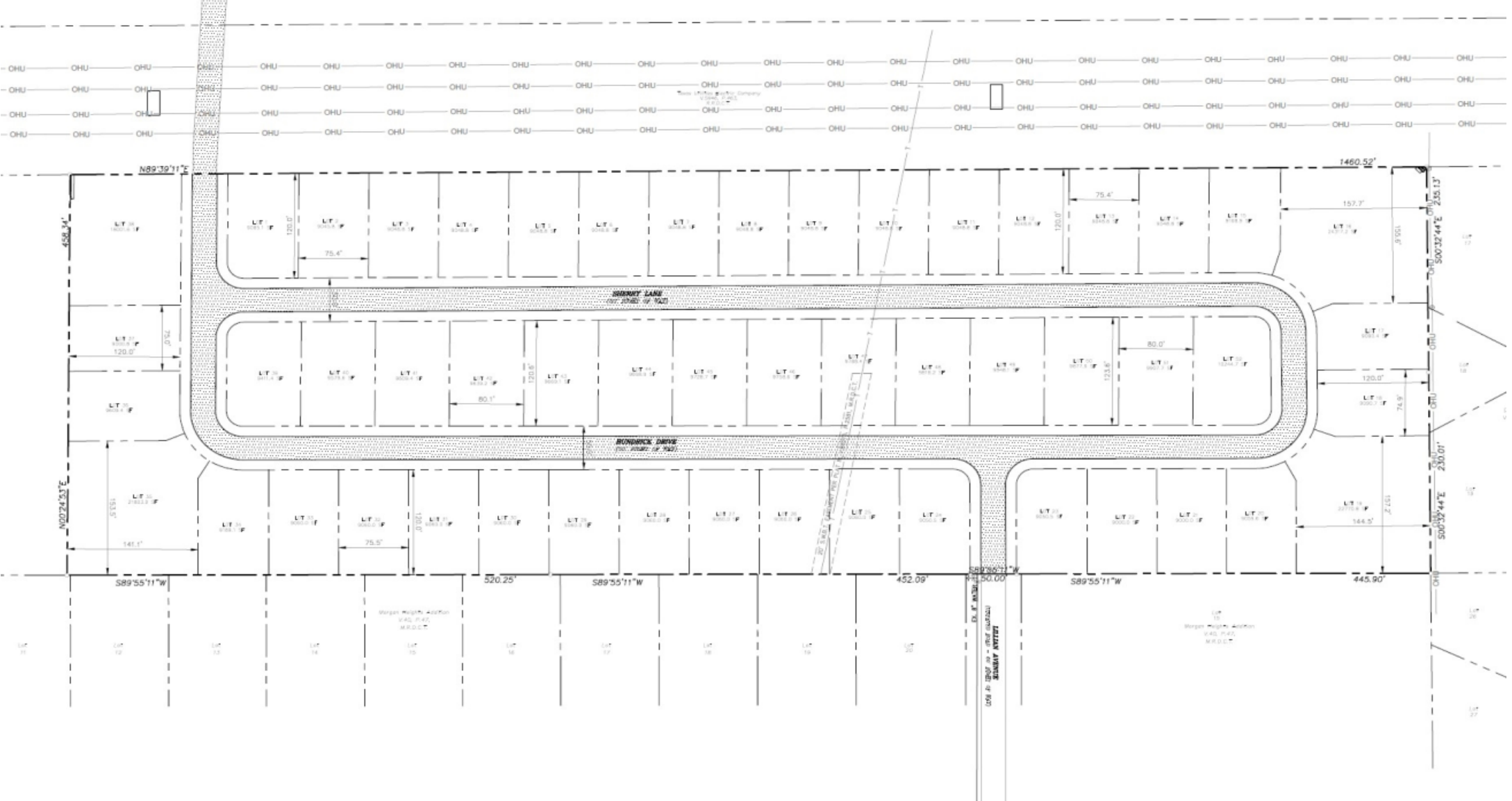


Public Hearing, Discuss and consider making a recommendation to the City Council of the City of Glenn Heights, Texas, related to granting a change in zoning from Single-Family Residential-1(SF-1) to Single-Family Residential-3 (SF-3) for approximately 15.52+/- acres of land situated in the John F. Porter Survey, Abstract No. 1118, City of Glenn Heights, Dallas County, Texas (Tract I), and lots 1 through 5 of block 1, lots 1 through 10 of block 2, and lots 1 through 7 of block 3, Phase One of the Meadows On Bear Creek, an Addition to the City of Glenn Heights, Dallas, Texas (Tract II), also commonly known as 928 East Bear Creek Road, Glenn Heights, Dallas County, Texas.

AERIAL VIEW



FINAL LAYOUT



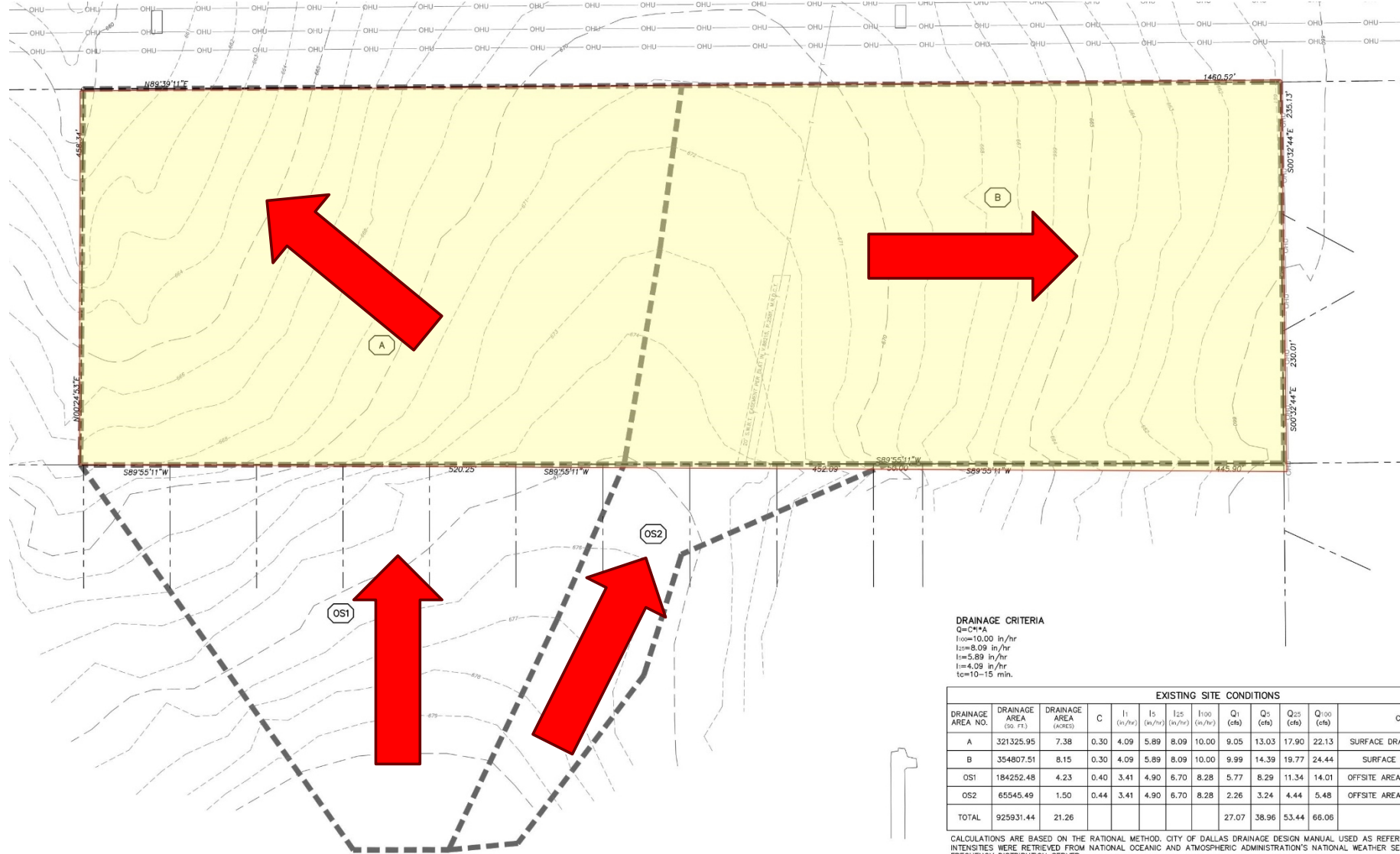


FUTURE LAND USE





EXISTING DRAINAGE PATTERN



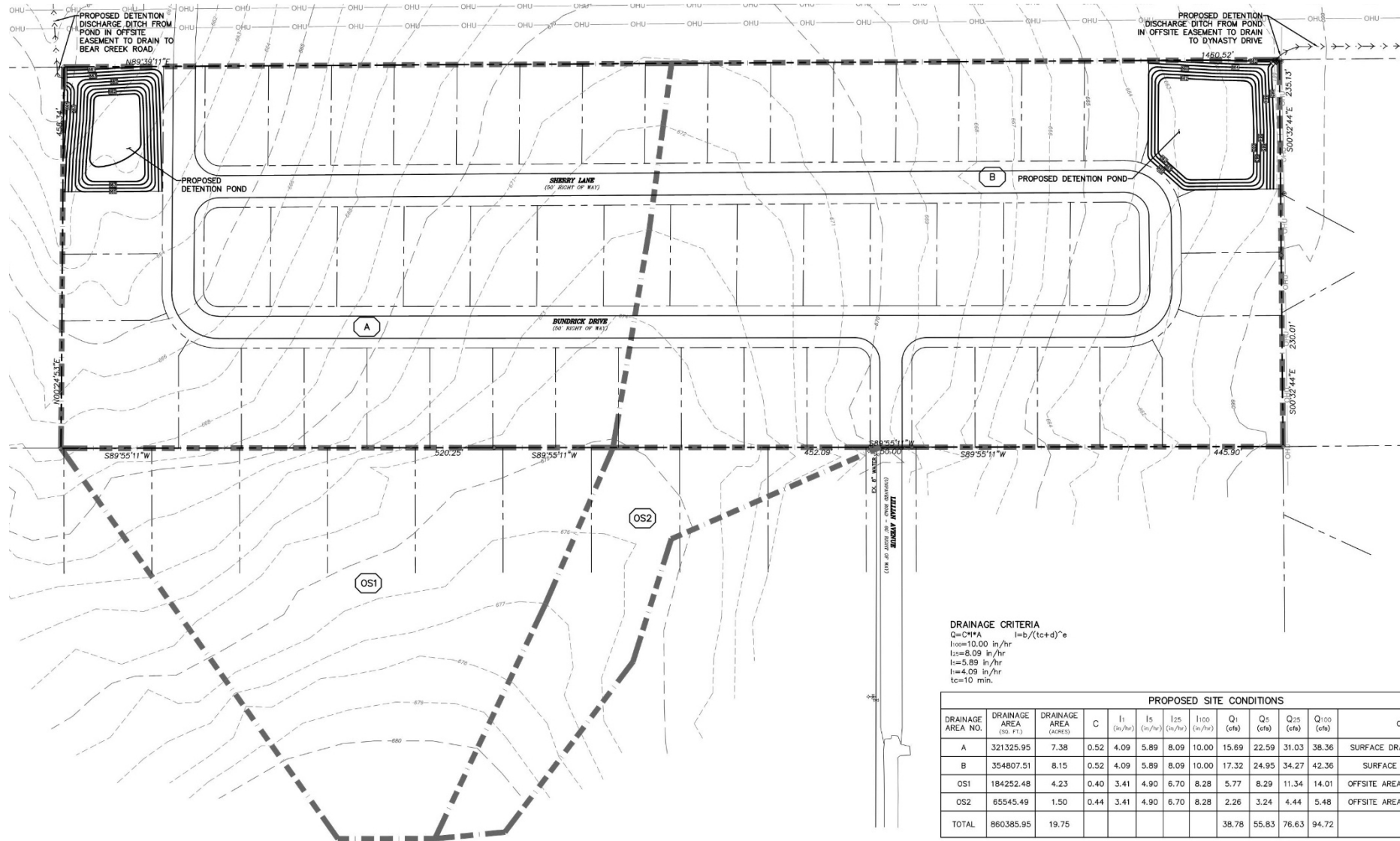
DRAINAGE CRITERIA
 $Q=C \cdot I \cdot A$
 $I_{100}=10.00 \text{ in/hr}$
 $I_{25}=8.09 \text{ in/hr}$
 $I_{5}=5.89 \text{ in/hr}$
 $I=4.09 \text{ in/hr}$
 $t_c=10-15 \text{ min.}$

DRAINAGE AREA NO.	DRAINAGE AREA (SQ. FT.)	DRAINAGE AREA (ACRES)	C	EXISTING SITE CONDITIONS							COM	
				I ₁ (in/hr)	I ₅ (in/hr)	I ₂₅ (in/hr)	I ₁₀₀ (in/hr)	Q ₁ (cfs)	Q ₅ (cfs)	Q ₂₅ (cfs)		Q ₁₀₀ (cfs)
A	321325.95	7.38	0.30	4.09	5.89	8.09	10.00	9.05	13.03	17.90	22.13	SURFACE DRAIN
B	354807.51	8.15	0.30	4.09	5.89	8.09	10.00	9.99	14.39	19.77	24.44	SURFACE DR
OS1	184252.48	4.23	0.40	3.41	4.90	6.70	8.28	5.77	8.29	11.34	14.01	OFFSITE AREA D
OS2	65545.49	1.50	0.44	3.41	4.90	6.70	8.28	2.26	3.24	4.44	5.48	OFFSITE AREA D
TOTAL	925931.44	21.26						27.07	38.98	53.44	66.06	

CALCULATIONS ARE BASED ON THE RATIONAL METHOD, CITY OF DALLAS DRAINAGE DESIGN MANUAL, USED AS REFERRED INTENSITIES WERE RETRIEVED FROM NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION'S NATIONAL WEATHER SERV FREQUENCY DISTRIBUTION SERVER.



LAYOUT



DRAINAGE CRITERIA
 $Q = C \cdot I \cdot A$ $I = b / (tc + d)^e$
 $I_{100} = 10.00 \text{ in/hr}$
 $I_{25} = 8.09 \text{ in/hr}$
 $I_5 = 5.89 \text{ in/hr}$
 $I_1 = 4.09 \text{ in/hr}$
 $tc = 10 \text{ min.}$

PROPOSED SITE CONDITIONS												
DRAINAGE AREA NO.	DRAINAGE AREA (SQ. FT.)	DRAINAGE AREA (ACRES)	C	I ₁ (in/hr)	I ₅ (in/hr)	I ₂₅ (in/hr)	I ₁₀₀ (in/hr)	Q ₁ (cfs)	Q ₅ (cfs)	Q ₂₅ (cfs)	Q ₁₀₀ (cfs)	CC
A	321325.95	7.38	0.52	4.09	5.89	8.09	10.00	15.69	22.59	31.03	38.36	SURFACE DRA
B	354807.51	8.15	0.52	4.09	5.89	8.09	10.00	17.32	24.95	34.27	42.36	SURFACE DRA
OS1	184252.48	4.23	0.40	3.41	4.90	6.70	8.28	5.77	8.29	11.34	14.01	OFFSITE AREA
OS2	65545.49	1.50	0.44	3.41	4.90	6.70	8.28	2.26	3.24	4.44	5.48	OFFSITE AREA
TOTAL	860385.95	19.75						38.78	55.83	76.63	94.72	

CALCULATIONS ARE BASED ON THE RATIONAL METHOD. CITY OF DALLAS DRAINAGE DESIGN MANUAL USED AS REFERENCE. INTENSITIES WERE RETRIEVED FROM NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION'S NATIONAL WEATHER SERVICE.

QUESTIONS



COMMENTS

Rain Financial Services Change of Zoning

CITY OF GLENN HEIGHTS

PLANNING AND ZONING COMMISSION

JULY 15, 2025

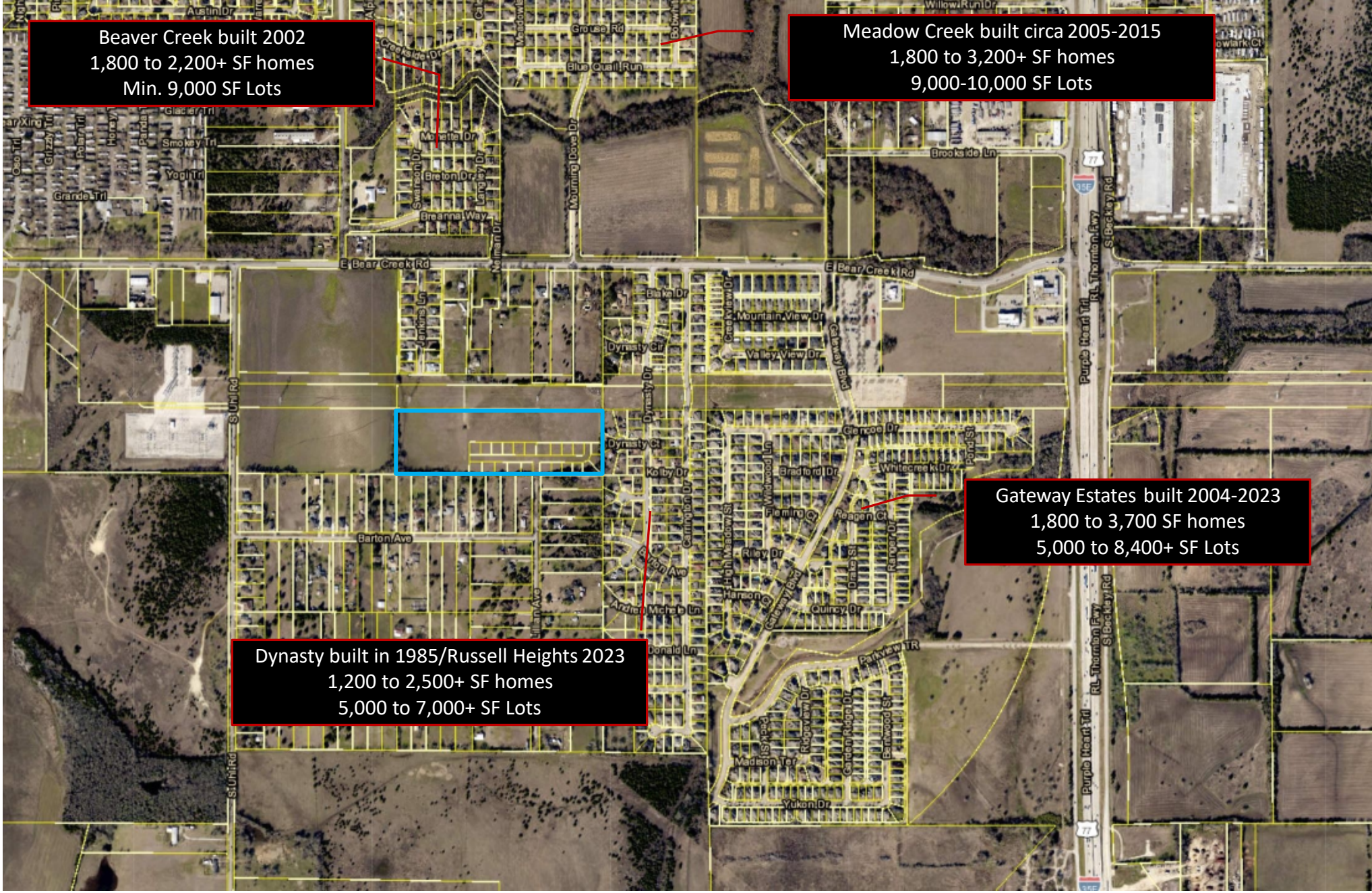


Beaver Creek built 2002
1,800 to 2,200+ SF homes
Min. 9,000 SF Lots

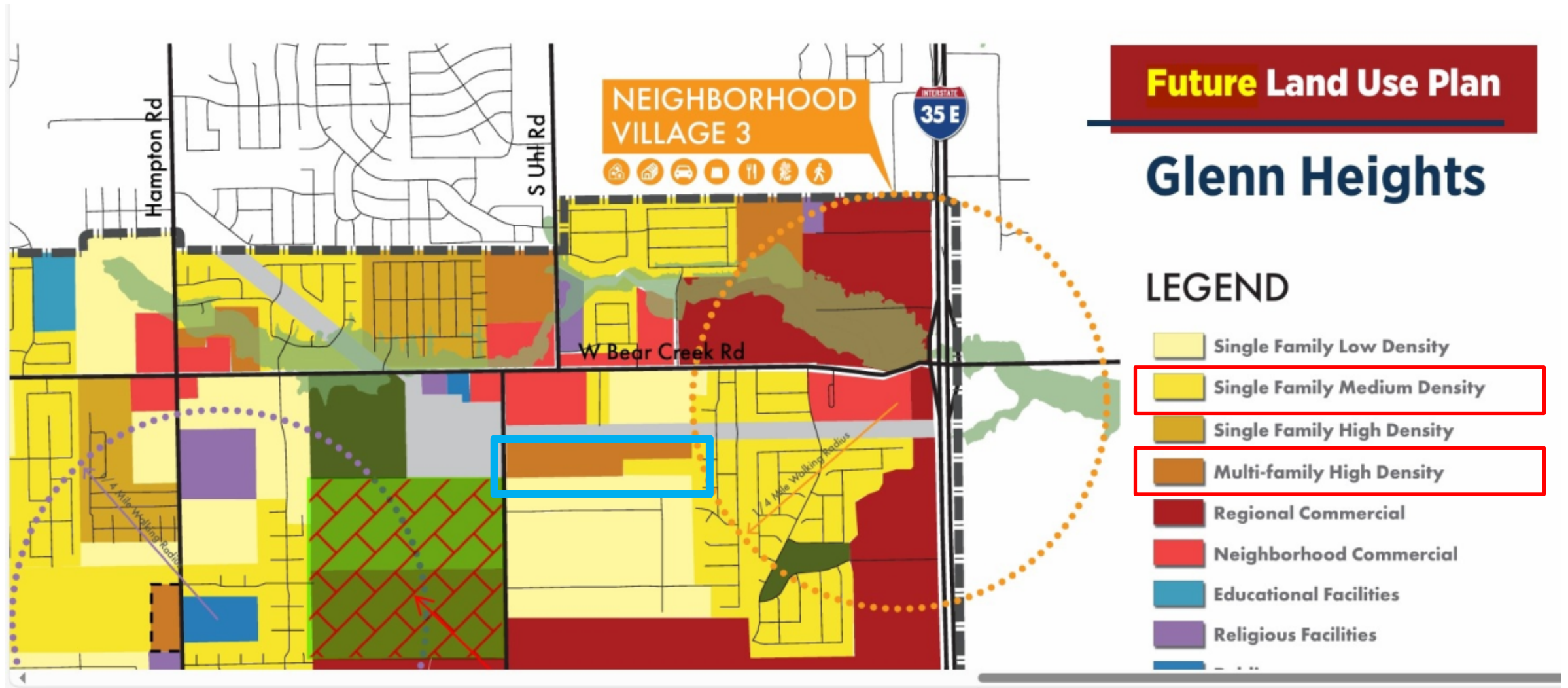
Meadow Creek built circa 2005-2015
1,800 to 3,200+ SF homes
9,000-10,000 SF Lots

Gateway Estates built 2004-2023
1,800 to 3,700 SF homes
5,000 to 8,400+ SF Lots

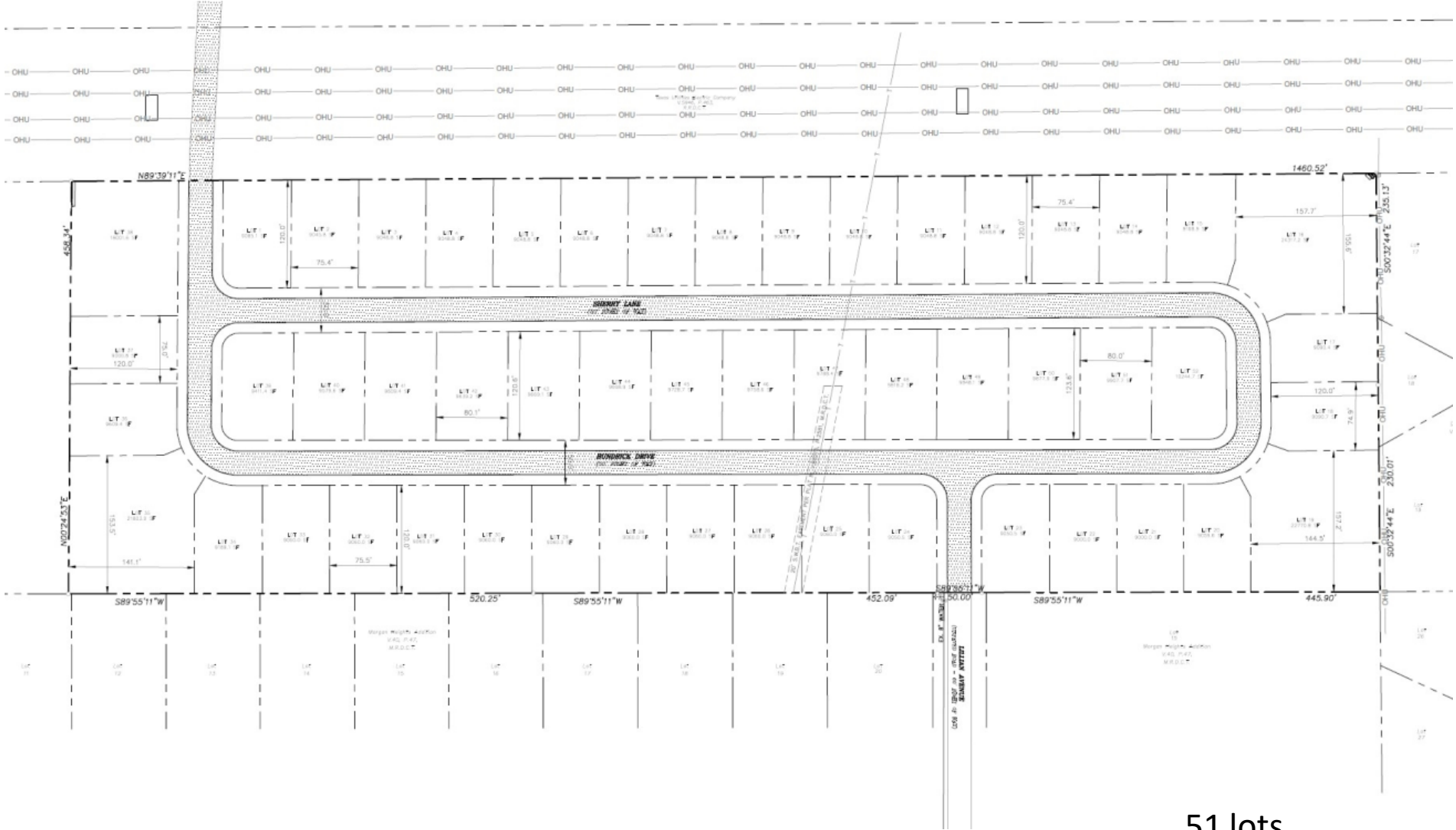
Dynasty built in 1985/Russell Heights 2023
1,200 to 2,500+ SF homes
5,000 to 7,000+ SF Lots



Comprehensive Plan



Preliminary Layout – Illustrative Purposes Only



51 lots

AN ORDINANCE OF THE CITY OF GLENN HEIGHTS, TEXAS

ORDINANCE NO. O-12-25

AN ORDINANCE OF THE CITY OF GLENN HEIGHTS, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE, PLAN AND MAP OF THE CITY OF GLENN HEIGHTS, AS AMENDED, BY GRANTING A CHANGE IN ZONING FROM SINGLE-FAMILY RESIDENTIAL-1 (SF-1) TO SINGLE FAMILY RESIDENTIAL-3 (SF-3) FOR A 15.52+/- ACRE TRACT OF LAND, SITUATED IN THE JOHN F. PORTER SURVEY, ABSTRACT NO. 1118, CITY OF GLENN HEIGHTS, DALLAS COUNTY, TEXAS (TRACT I), AND LOTS 1 THROUGH 5 OF BLOCK 1, LOTS 1 THROUGH 10 OF BLOCK 2, AND LOTS 1 THROUGH 7 OF BLOCK 3, PHASE ONE OF THE MEADOWS ON BEAR CREEK, AN ADDITION TO THE CITY OF GLENN HEIGHTS, DALLAS, TEXAS (TRACT II); PROVIDING A REPEALING CLAUSE; PROVIDING A SAVINGS CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A PENALTY OF FINE NOT TO EXCEED TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; AND PROVIDING FOR AN EFFECTIVE DATE

WHEREAS, the Planning and Zoning Commission of the City of Glenn Heights and the City Council of the City of Glenn Heights, in compliance with the laws of the State of Texas with reference to the granting of zoning classifications and changes, have given requisite notices by publication and otherwise, and have held due hearings and afforded a full and fair hearing to all property owners generally and to all persons interested and situated in the affected area and in the vicinity thereof, and the City Council of the City of Glenn Heights is of the opinion and finds that a zoning change should be granted, and that the Comprehensive Zoning Ordinance, Plan and Map should be amended.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GLENN HEIGHTS, TEXAS, THAT:

SECTION 1. The Comprehensive Zoning Ordinance, Plan and Map of the City of Glenn Heights, Texas, as heretofore amended, be and the same is hereby amended by granting a change in zoning from Single-Family Residential-1 (SF-1) to Single-Family Residential-3 (SF-3) on two tracts of land, Tract I being a 15.52+/- acre tract of land, situated in the John F. Porter Survey, Abstract No. 118, Dallas County, Texas, and being the remainder of tract of land described in a deed to Giotto Real Estate Development, LLC, recorded in instrument number 201900093697 in the Real Property Records, Dallas County, Texas, and Tract II being Lots 1-5 of Block 1, Lots 1-10 of Block 2, and Lots 1-7 of Block 3, of Phase One of the Meadows on Bear Creek, an Addition to the City of Glenn Heights, Dallas County, Texas, according to the map thereof recorded in Volume 88215, Page 2581, Map Records, Dallas County, Texas, as more particularly described in Exhibit "A," attached hereto and incorporated herein.

SECTION 2. All provisions of the Ordinances of the City of Glenn Heights, Texas, in conflict with the provisions of this ordinance be and are hereby repealed and all other provisions

of the ordinances of the City of Glenn Heights, Texas, not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 3. An offense committed before the effective date of this ordinance is governed by the prior law and the provisions of the Code of Ordinances, as amended, in effect when the offense was committed, and the former law is continued in effect for this purpose.

SECTION 4: Should any sentence, paragraph, subdivision, clause, phrase, or section of this ordinance or the Comprehensive Zoning Ordinance, as amended hereby, be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this ordinance or the Comprehensive Zoning Ordinance as a whole, or any part or provision thereof, other than the part declared to be invalid, illegal, or unconstitutional.

SECTION 5. Any person, firm, or corporation violating, disobeying, neglecting, refusing to comply with, or resisting the enforcement of any of the provisions or terms of this ordinance or the Comprehensive Zoning Ordinance, as amended hereby, shall be subject to the same penalty of two thousand dollars (\$2,000.00) for each offense as provided for in the ordinances of the City of Glenn Heights, as heretofore amended. Each and every day such a violation continues or is allowed to exist shall constitute a separate offense.

SECTION 6. This ordinance shall take effect immediately from and after its passage and the publication of its caption, as the law and charter in such cases provide.

DULY PASSED by the City Council of the City of Glenn Heights, Texas this 15th day of July, 2025.

APPROVED:

SONJA A. BROWN, MAYOR

ATTEST:

Brandi Brown, City Secretary

APPROVED AS TO FORM:

David M. Berman, City Attorney

EXHIBIT "A"

TRACT I

BEING a tract of land situated in the John F. Porter Survey, Abstract Number 1118, Dallas County, Texas and being the remainder of a tract of land described in a deed to Giotto Real Estate Development, LLC, recorded in Instrument Number 201900093697, Real Property Records, Dallas County, Texas, being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2" rebar rod found (Control Monument) for the northwest corner of the Giotto Tract, same being the northeast corner of "Tract II" to Suresh Shridharani recorded in Instrument Number 201200382616, Real Records, Dallas County, Texas and being in the south line of a tract of land described in a deed to Texas Utilities Electric Company recorded in Volume 5946, Page 463, Real Records, Dallas County, Texas;

THENCE N89°39'11"E. (BASIS FOR DIRECTIONAL CONTROL), 1460.52 feet (DEED=1459.27') along the common line of the Giotto Tract and the Texas Utilities Tract to a 1/2" rebar rod found (Control Monument) for the northeast corner of the Giotto Tract, same being the northwest corner of Lot 17, Dynasty Addition recorded in Volume 83211, Page 1563, Map Records, Dallas County, Texas;

THENCE S00°32'44"E. (DEED=S00°29'44"E), 235.13 feet along the common line of the Giotto Tract and Lots 17 and 18, Dynasty Addition to a 1/2" capped "T.C.S. RPLS 4277" rebar rod set for the northeast corner of Lot 7, Block 3, PHASE No. ONE of THE MEADOWS ON BEAR CREEK recorded in Volume 88215, Page 2581, Map Records, Dallas County, Texas;

THENCE S89°55'11"W., 946.12 feet along a common line of the Giotto Tract and THE MEADOWS ON BEAR CREEK to a 1/2" capped "T.C.S. RPLS 4277" rebar rod set for the northwest corner of Lot 10, Block 2;

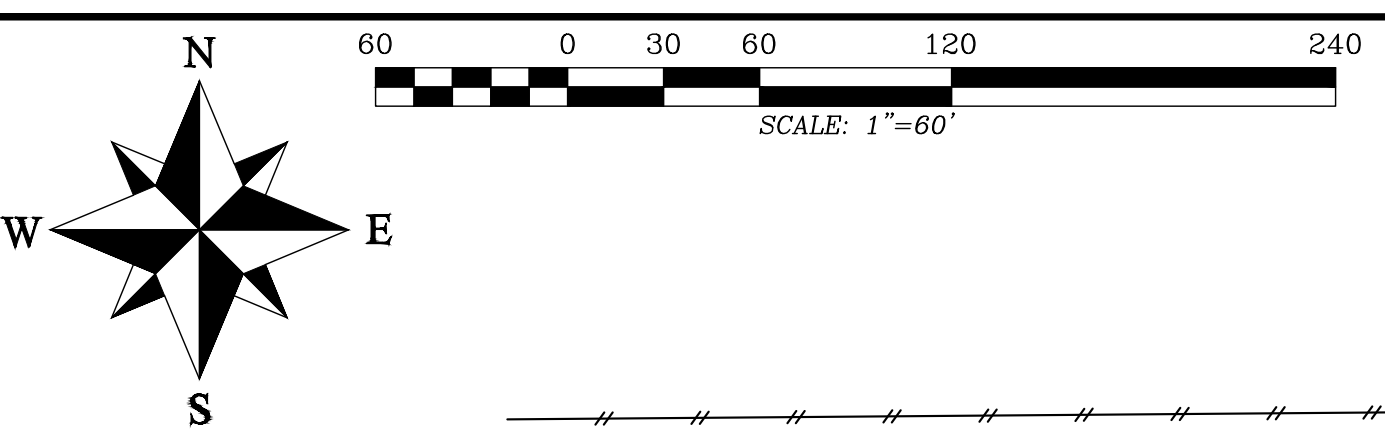
THENCE S00°04'49"E., 230.00 feet along a common line of the Giotto Tract and THE MEADOWS ON BEAR CREEK to a 1/2" capped "T.C.S. RPLS 4277" rebar rod set for the southwest corner of Lot 5, Block 1 and being in the north line of Lot 16, Morgan Heights Addition recorded in Volume 40, Page 47, Map Records, Dallas County, Texas;

THENCE S89°55'11"W. (DEED=N89°58'59"W), 520.25 feet along the common line of the Giotto Tract and Morgan Heights Addition to a 1/2" rebar rod found for the southwest corner of the Giotto Tract, same being the southeast corner of the Shridharani Tract;

THENCE N00°24'53"E. (DEED=N00°21'22"E), 458.34 feet (DEED=459.93') along the common line of the Giotto Tract and the Shridharani Tract to the POINT OF BEGINNING and containing 10.521 acres of land more or less.

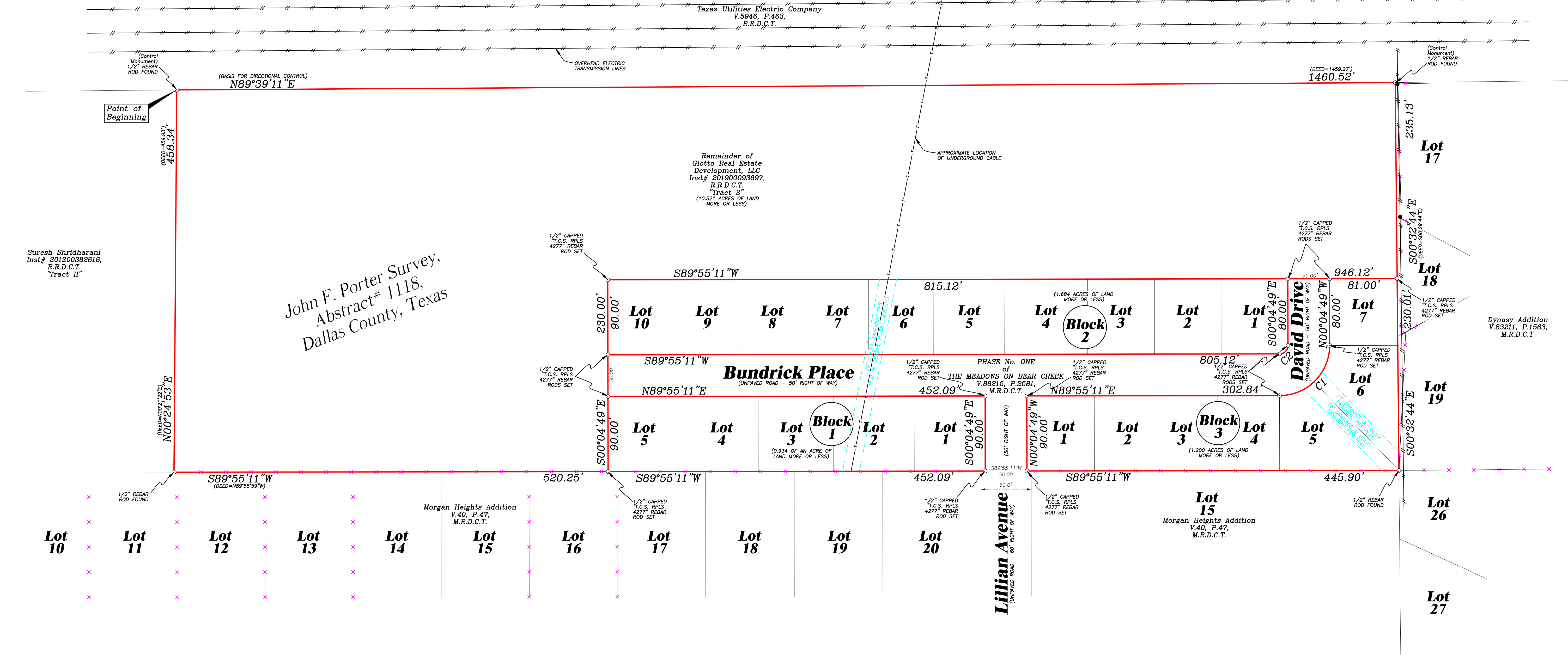
TRACT II

BEING Lots 1-5, Block 1; Lots 1-10, Block 2 and Lots 1-7, Block 3, PHASE No. ONE of THE MEADOWS ON BEAR CREEK, an Addition to the City of Glenn Heights, Dallas County, Texas according to the Map thereof recorded in Volume 88215, Page 2581, Map Records, Dallas County, Texas



LEGEND

- METER POLE
- UTILITY POLE
- DOWN GUY
- OVERHEAD UTILITY LINE
- ASPHALT
- CONCRETE
- FENCE



TRACT I
Legal Description:
 Description for a tract of land situated in the John F. Porter Survey, Abstract Number 1118, Dallas County, Texas and being the remainder of a tract of land described in a deed to Giotto Real Estate Development, LLC recorded in Instrument Number 201900093697, Real Records, Dallas County, Texas, being more particularly described by metes and bounds as follows:

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TRACT II
Legal Description:
 Lots 1-5, Block 1; Lots 1-10, Block 2 and Lots 1-7, Block 3, PHASE No. ONE of THE MEADOWS ON BEAR CREEK, an Addition to the City of Glenn Heights, Dallas County, Texas according to the Map thereof recorded in Volume 88215, Page 2581, Map Records, Dallas County, Texas.

CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	60.00'	94.44'	S45°00'41"W	84.99'
C2	10.00'	15.71'	N44°55'11"E	14.14'

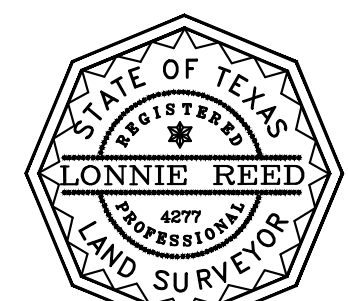
Notes:
 According to the Flood Insurance Rate Map for Dallas County, Texas, and Incorporated Areas, Community Panel Number 48113C 0640 K, Dated July 7, 2014, this tract is in Zone X, an area not in the 1% annual chance flood.

The easements to Texas Power and Light recorded in Volume 5864, Page 61, Volume 5864, Page 65, Real Records, Dallas County, Texas and the Agreement to Texas Power and Light recorded in Volume 86189, Page 6540, Real Records, Dallas County, Texas affect this tract.

This sketch accurately represents an on the ground survey performed under my direction and supervision, and shows all property corners, and visible improvements, encroachments, and easements that have been provided to me. This survey has been performed strictly for this transaction only, as indicated by the Guaranty File Number as stated on this drawing, and is not to be used for any other transaction.

Janice Reed
 09-01-2021

TRI SURVEYING
COUNTIES
 d/b/a TRICO DELTA JOINT VENTURE
 116 LOCUST STREET, AZLE, TX 76020
 OFFICE: 817-444-2355 FAX: 817-444-4387
 tc4277@gmail.com
 FIRM REGISTRATION: 10194647
 JOB# 21080514 GF# MF213380





CITY OF GLENN HEIGHTS CITY COUNCIL REPORT

Date: July 15, 2025

SUBJECT

This item will update the previously adopted Drainage Design Manual with more relevant criteria tailored specifically for the City of Glenn Heights.

DISCUSSION / BACKGROUND

The City of Glenn Heights previously updated its Drainage Design Manual through Ordinance O-03-25 by adopting the 2019 version of the City of Dallas Design Manual. In recent months, City staff have collaborated with professional engineers from Freese and Nichols to identify and propose amendments that better align the manual with the specific needs of the City of Glenn Heights and incorporate the latest technical standards.

One significant update includes the adoption of the "ATLAS 14" rainfall data, which reflects the most current and accurate precipitation information available. This change ensures that our design criteria are based on up-to-date hydrological data.

Staff held several meetings with the engineering team to review the manual in light of challenges and experiences encountered over the past two years. As a result, we have developed a list of recommended amendments included in this ordinance. These updates are intended to elevate the City's drainage standards and improve the effectiveness and resilience of our infrastructure.

PRIOR COUNCIL OR BOARD ACTION

Not applicable.

PUBLIC CONTACT

Not applicable.

FINANCIAL IMPACT

Not applicable.

RECOMMENDATION / ALTERNATIVES

Staff recommends approval of Ordinance O-13-25.

ATTACHMENTS

1. Ordinance O-13-25

PREPARED BY

Parviz Pourazizian, Director of Planning and Development Services

REVIEWED BY

Brandi Brown, City Secretary

AN ORDINANCE OF THE CITY OF GLENN HEIGHTS, TEXAS

ORDINANCE NO. O-13-25

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GLENN HEIGHTS, TEXAS, AMENDING THE CODE OF ORDINANCES, CITY OF GLENN HEIGHTS, TEXAS, BY AMENDING SECTION 13.12.002 OF ARTICLE 13.12 (“DRAINAGE UTILITY SYSTEM”) OF CHAPTER 13 (“UTILITIES”) TO ADOPT SUBSECTION (d) TO SECTION 13.12.002, PROVIDING FOR THE ADOPTION OF FUTURE AMENDMENTS TO THE DRAINAGE DESIGN MANUAL, AS PREVIOUSLY ADOPTED, AND TO ADOPT AMENDMENTS TO THE DRAINAGE DESIGN MANUAL AS SET FORTH IN EXHIBIT “A” TO THIS ORDINANCE, PROVIDING PRINCIPLES AND PRACTICES FOR THE DESIGN, CONSTRUCTION AND IMPLEMENTATION OF DRAINAGE FACILITIES IN THE CITY OF GLENN HEIGHTS; PROVIDING A REPEALING CLAUSE; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE

WHEREAS, on February 18, 2025, the City Council of the City of Glenn Heights, Texas, adopted Ordinance No. O-03-25, amending Section 13.12.002 of the Code of Ordinances, City of Glenn Heights, Texas, which adopted the City of Dallas Drainage Design Manual, September 2019 edition (the “Drainage Design Manual”), together with certain amendments codified in Section 13.12.002; and

WHEREAS, based on recommendations from City staff and engineering reviews, the City Council finds and determines that additional amendments to the Drainage Design Manual are appropriate and are advisable to ensure the proper, safe and economical design, operation and functioning of drainage facilities within and attendant to the City’s municipal drainage utility system and to prevent and reduce the possibility of property damage, injury and loss of life resulting from flooding and water hazards, and that the amendments to the Drainage Design Manual set forth herein will preserve and protect public health, safety and welfare and are in the best interest of the citizens of the City.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GLENN HEIGHTS, TEXAS, THAT:

SECTION 1: The Code of Ordinances, City of Glenn Heights, Texas, be and is hereby amended to amend Section 13.12.002 of Article 13.12 (“Drainage Utility System”) of Chapter 13 (“Utilities”), to add a new subsection (d), without amendment, repeal or change to any other subsection, part or provision of Section 13.12.002, such that subsection (d) shall henceforth read in its entirety as follows:

**“CHAPTER 13
UTILITIES**

...

**ARTICLE 13.12
DRAINAGE UTILITY SYSTEM**

...

§13.12.002 Adoption and declaration of public utility.

...

(d) The city council may adopt additional amendments, in addition to the amendments set forth in subsection (c) of this section, which amendments shall be effective upon adoption. True and correct copies of amendments shall be maintained on file in the offices of the city secretary and city manager or designee.”

SECTION 2: The Amendment No. 1, attached to this Ordinance and incorporated herein as Exhibit “A,” be and is hereby adopted as amendments to the designated sections and provisions of the Drainage Design Manual, as heretofore adopted and amended. True and correct copies of the amendments adopted herein, designated as Amendment No. 1, shall be maintained on file in the offices of the city secretary and city manager or designee.

SECTION 3. All provisions of the ordinances of the City of Glenn Heights in conflict with the provisions of this Ordinance be and the same are hereby repealed, and all other provisions of the ordinances of the City of Glenn Heights not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 4: Should any sentence, paragraph, subdivision, clause, phrase, or section of this ordinance or the Code of Ordinances, as amended hereby, be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this ordinance or the Code of Ordinances as a whole, or any part or provision thereof, other than the part declared to be invalid, illegal, or unconstitutional.

SECTION 5: This ordinance shall take effect immediately from and after its passage and the publication of its caption, as the law and charter in such cases provide.

Duly Passed by the City Council of the City of Glenn Heights, Texas this _____ day of _____, 2025.

Approved:

Sonja A. Brown, Mayor

Attest:

Brandi Brown, City Secretary

Approved as to Form:

David M. Berman, City Attorney

CITY OF GLENN HEIGHTS, TEXAS

DRAINAGE DESIGN MANUAL

AMENDMENT #1

July, 2025

The following amendments are adopted under and pursuant to Section 13.12.002, Code of Ordinances, City of Glenn Heights, Texas, and are in addition to and supplement the amendments set forth in subsection (c) of Section 13.12.002. The Section numbers referenced in this document correspond to the City of Dallas (COD) Drainage Design Manual, September 2019 edition. These amendments supersede the corresponding items in the COD Drainage Design Manual. References to “City” in this Amendment are to the City of Glenn Heights, Texas.

Section 1.4.5 – Pre-Development Meeting

This section shall read as follows:

A pre-development meeting is required for all projects within the City of Glenn Heights, regardless of size. The location of the project is more important than the overall project area. It is valuable to spend time in discussion with the City to address any concerns at this stage, verify an understanding of design criteria as it applies to the project, request any previous studies that could leverage and facilitate their impacts assessment, and discuss any unusual elements of the project.

The following items, at a minimum, must be reviewed and prepared by the designer prior to the meeting. Other items may be necessary depending on site and project conditions.

- Topographic work map
- Conceptual layout
- Existing flood studies or models
- FEMA flood maps if applicable
- Upstream Drainage Area Delineation
- Upstream and downstream conditions and capacity

See Section 10 for project submittal requirements.

Section 2.2.1.2 – Rainfall Intensity

This section shall read as follows:

The rainfall intensity value “i” is the intensity for a duration equal to the time of concentration (T_c), as defined in Exhibit 1, per the [National Oceanic and Atmospheric Administration \(NOAA\) Atlas 14](#) (Volume 11, Version 2) for the City center.

Exhibit 1 – Rainfall Intensity Values

		Return Period (Years)						
		1	2	5	10	25	50	100
Hours	Minute s							
0.083	5	5.10	5.96	7.37	8.52	10.1	11.3	12.6
0.167	10	4.07	4.76	5.89	6.82	8.11	9.09	10.1
0.250	15	3.40	3.96	4.90	5.66	6.71	7.51	8.31
0.333	20							
0.500	30	2.38	2.77	3.41	3.94	4.66	5.20	5.75
1	60	1.54	1.80	2.23	2.58	3.06	3.42	3.80
2	120	0.937	1.11	1.38	1.61	1.94	2.19	2.46
3	180	0.688	0.820	1.03	1.21	1.46	1.67	1.88
6	360	0.404	0.487	0.615	0.727	0.889	1.02	1.16
12	720	0.233	0.283	0.359	0.426	0.524	0.603	0.689
24	1440	0.136	0.165	0.210	0.250	0.307	0.354	0.405

Section 2.2.1.3 – Time of Concentration (T_c)

The first paragraph of this subsection shall read as follows:

Sheet Flow

Equation 2.4 is modified as follows for a 2-year (50% AEP) 24-hour rainfall depth of 3.98 inches, per the [National Oceanic and Atmospheric Administration \(NOAA\) Atlas 14](#) (Volume 11, Version 2) for the City center:

$$T_{cs} = \frac{0.007 \times (nL)^2}{(P_2)^{0.5}(S_0)^{0.4}} \quad (\text{Equation 2.4})$$

T_{cs} = Time of concentration representing sheet flow (hr)

n = Manning’s roughness coefficient (reference Table 2.5)

L = Flow length (ft) ≤ 100 ft

P_2 = 3.98 inches (2-year (50% AEP) 24-hour rainfall for Glenn Heights)

S_0 = Slope of land surface (ft/ft)

Section 2.2.2.1 – SCS Unit Hydrograph Method

The first paragraph of this section shall read as follows:

When a drainage area under consideration is greater than or equal to 100 acres the City recognizes the Soil Conservation Service (SCS) Unit Hydrograph Method for determining rates and volume of stormwater runoff. The City recognizes the use of software as listed in the [City of Dallas Approved Software](#) website. The City maintains hydrologic models on most primary and some secondary channels. Where the City has an existing model, it should be utilized unless the Director approves the development of a new model. The developer is responsible for due diligence on existing models and surrounding developments occurring in parallel. Models in use in an area should be utilized for future projects. Any variances must be approved by the Director.

Section 2.2.2.1 – SCS Unit Hydrograph Method - Rainfall

This subsection shall read as follows:

24-hour rainfall depths to be used are as specified in Exhibit 2, per the [National Oceanic and Atmospheric Administration \(NOAA\) Atlas 14](#) (Volume 11, Version 2) for the City center. Areal Reduction Factors may be used to account for non-uniform distribution of rainfall in large watersheds. See Figure 2.2 for Dallas adjustment factors. Information pertaining to design storm duration and distribution will be provided by the Director where the City has an existing hydrologic model. Where new models are being developed, the Atlas 14 temporal distribution, as defined in Exhibit 2, will be used:

Exhibit 2 – Atlas 14 Temporal Distribution

Recurrence Interval (years)	Rainfall Depth (inches)
1	3.27
2	3.98
5	5.06
10	6.01
25	7.39
50	8.51
100	9.73

Percent Time	Percent Rainfall
0	0
2.0833	1.05
4.1667	2.03

6.25	3.09
8.3333	4.25
10.417	5.46
12.5	6.72
14.583	8.06
16.667	9.56
18.75	11.34
20.833	13.51
22.917	16.19
25	19.43
27.083	23.29
29.167	27.73
31.25	32.71
33.333	38.09
35.417	43.76
37.5	49.55
39.583	55.3
41.667	60.85
43.75	66.07
45.833	70.85
47.917	75.12
50	78.84
52.083	82.03
54.167	84.71
56.25	86.93
58.333	88.79
60.417	90.34
62.5	91.67
64.583	92.85
66.667	93.93
68.75	94.93
70.833	95.86
72.917	96.73
75	97.52
77.083	98.2
79.167	98.75
81.25	99.18
83.333	99.48
85.417	99.67
87.5	99.79
89.583	99.86
91.667	99.91
93.75	99.94
95.833	99.97
97.917	99.97
100	100

Section 2.2.2.1 – SCS Unit Hydrograph Method - Drainage Area Delineation

The first paragraph of this section shall read as follows:

Drainage area delineations must utilize the most accurate and recent ground data available for the area. The entire watershed draining to a property or facility must be considered, not just the area within the project or the property boundaries. In order to establish the zone of influence from a proposed development and to determine the impacts on the downstream properties or facilities, a downstream assessment is required. For watersheds of twenty-five (25 ac) acres or less at any proposed outfall, the downstream assessment may use the 10% rule of thumb in order to determine the zone of influence. The ten percent (10%) rule states the Zone of Influence is considered to be the point where the drainage area controlled by the drainage facility comprises ten percent (10%) of the total drainage area. For example, the Zone of Influence for a 10-acre development ends at the point downstream where the overall watershed is 100 acres or greater. For all other watersheds, the zone of influence will be defined by a detailed hydrologic and hydraulic analysis. The drainage area delineation must also contain any contributing storm sewer systems.

Section 2.2.2.2 – Use of Other Hydrograph Methods

The City will only accept use of the SCS Unit Hydrograph for consistency.

Section 2.2.2.3 – Flood Routing

This section shall read as follows:

Flood routing is an iterative process that determines flood wave (flow) travel time and attenuation using hydrologic or hydraulic routing methods and is normally required when drainage areas are subdivided. Flood routing can be determined using approved hydrologic software, a list of which can be found on the [City of Dallas Approved Software](#) website. Applicability and limitations for each of the methods indicated in the computer program's technical reference should be considered. The Modified Puls method is the City-preferred flood routing method and shall be used for all streams located within a FEMA-designated Zone AE floodplain or any non-regulatory floodplain within City limits. The Modified Puls method must also be used for any stream/floodplain where significant backwater is expected, or significant overbank storage exists. The Modified Puls routing methodology shall be used for any routing reach in HEC-HMS that has an associated reach modeled in HEC-RAS. Other approved methods suitable for streams where the Modified Puls is not required are also discussed in the following subsections. Methods not listed below may only be used with approval of the city.

Section 2.2.2.3 – Flood Routing - Modified Puls Method

Equation 2.17 is not accepted. This subsection shall read as follows:

This method requires detailed hydraulic modeling (HEC-RAS) to compute a storage-outflow relationship. The travel time needed for this method will be calculated by the HEC-RAS model within each routing reach modeled.

To run a Modified Puls model, a steady flow model must be created first in HEC-RAS, with several different flow profiles ranging from low to higher-than-expected flows to create a rating curve. See the HEC-RAS User's Manual for guidance on how to run a Modified Puls model.

A storage-discharge table can be created for each reach showing the storage loss associated with each flow profile for every reach that can be used as input data to the HMS model to properly model storage loss as runoff is routed through the reach.

Section 2.2.2.3 – Flood Routing - Muskingum-Cunge Method

This subsection shall read as follows:

The Muskingum-Cunge method provides a simplified estimation of floodplain storage to reflect hydrograph attenuation for locations where detailed hydraulic modeling is not available for use in the Modified Puls method. The standard channel configuration may be used for man-made channels with simple prismatic cross-sections. The City will not accept the use of the Muskingum-Cunge method for long conduits. The standard 8-point cross-section method should be used for natural channels. Refer to HEC-HMS Technical Reference manual for guidance on this method.

Section 2.2.2.3 – Flood Routing - Reservoir Routing

This subsection shall read as follows:

Hydrograph routing through a reservoir can be computed with a reservoir element in HEC-HMS, unless significantly influenced by tailwater conditions. A detailed description of level-pool routing can be found in the HEC-HMS Technical Reference manual and other manuals from the approved software list found in the [City of Dallas Approved Software](#) website. A storage-outflow relationship is required for this routing method. The storage-outflow relationship is dependent upon the characteristics of the storage facility and the outlet and spillway. For simple outflow structures, outlet configurations can be entered directly into most hydrologic modeling software. Data from a hydraulic program such as HEC-RAS can be used to run multiple steady-state water surface profiles to determine outflow values for corresponding storage volumes/elevations complex outlet structures.

Section 2.3.1 – Design Objectives

This section shall read as follows:

Stormwater detention is sometimes required to temporarily impound (detain) excess storm water, thereby reducing peak discharge rates.

The purpose of detention is to impound water for a certain period of time before it drains or overflows into a storm sewer system or channel. Detention ponds can be designed to remain dry in between storm events (Dry Detention pond) or maintain a permanent wet pool for aesthetics or recreation (Wet Detention pond). Retention ponds impound water while allowing infiltration through porous soils so that all runoff is retained and no runoff is passed downstream.

For all projects, the stormwater discharge from the development must not adversely impact adjacent or downstream properties or facilities. A downstream assessment, as defined in Section 2.3.2, is required to establish the zone of influence from a proposed development and determine the impacts to the downstream properties or facilities. The parameters evaluated, as listed in Section 2.3.2, ensure the proper design of an adequate outfall to convey runoff without causing flooding, erosion, or any other adverse impacts to adjacent or downstream properties or facilities. A no negative impacts determination is valid when all conditions outlined in Section 2.3.2 are met. Variance requests may be approved at the sole discretion of the City Engineer.

Compliance with the threshold conditions used to determine whether a project creates a significant impact on downstream discharges and velocities does not relieve the project from compliance with stormwater protection and floodplain regulations.

Infill developments and redevelopments are exempt from detention requirements if the parcel is less than 1 acre in size and adds less than 5,000 square feet of additional impervious surface relative to existing conditions. However, the use of rain gardens, pervious pavements and other sustainable design measures are encouraged to minimize impacts from this type of development on a neighborhood scale.

For roadway projects, determination of whether detention is required must be assessed for each roadway outfall. Roadway projects are exempt from detention requirements at an outfall if they add less than 10,000 square feet of additional impervious area draining to that outfall.

All detention requires an easement. For plat regulations and easement requirements, see Section 9.3

Section 2.3.2 – Downstream Analysis

This section should read as follows:

A downstream analysis is a tool for evaluating the impact of projects on downstream discharges, water surface elevations and velocities. The parameters evaluated for such an analysis and the requirements to demonstrate an adequate outfall for site drainage are included in Exhibits 3a and 3b. An adequate outfall is a structure or location that is adequately designed as to not cause adverse flooding conditions, erosion, or any other adverse impacts.

Downstream assessments must be prepared and submitted to the City with the construction plans.

Exhibit 3a

Item	Parameter	Requirements
1	Habitable Structures	<ul style="list-style-type: none">No new or increased flooding (0.00 feet) of existing insurable (FEMA) structures (habitable buildings)
2	Flood Elevations	<ul style="list-style-type: none">No increase (0.00 feet) in the 2-, 25-, and 100-year water surface elevations
3	Floodplain Ordinance	<ul style="list-style-type: none">Floodplain alterations must result in no loss (0%) of valley storage for the 100-year storm event along a stream in which the upstream drainage area is three square miles or more.Valley storage losses along streams in which the upstream drainage area is between 100 acres and three square miles may not exceed 15%, as calculated on a site-by-site basis.Valley storage losses along streams in which the upstream drainage area is less than 100 acres are not limited.
4	Channel Velocities	<ul style="list-style-type: none">Proposed channel velocities for the 2-, 25-, and 100-year storms cannot exceed the applicable maximum permissible velocity per Exhibit 3b. Exceptions to these criteria will require certified geotechnical/geomorphologic studies that provide documentation that the higher velocities will not create additional erosion.If existing velocities exceed maximum permissible velocities shown in Exhibit 3b, no more than a 5% increase in velocities will be allowed.
5	Downstream Discharges	<ul style="list-style-type: none">No increase in downstream discharges caused by the proposed development will be permitted.
6	Downstream Assessment	<ul style="list-style-type: none">For watersheds of twenty-five (25) acres or less at any proposed outfall, the downstream assessment may use the 10% rule of thumb or a detailed study to determine the zone of influence. The ten percent (10%) rule states the Zone of Influence is the point where the drainage area controlled by the drainage facility comprises ten percent (10%) of the total

		<p>drainage area. For example, the Zone of Influence for a 10-acre development ends at the point downstream where the overall watershed is 100 acres or greater.</p> <ul style="list-style-type: none"> • For all other watersheds, the zone of influence will be defined by a detailed hydrologic and hydraulic analysis. • If a portion of a larger property is being developed, the Zone of Influence shall be determined based on the entire property. • It shall be the responsibility of the Engineer to contact the City and inquire about other proposed or approved developments within the zone of influence. At the direction of the City Engineer, these developments shall be included in the hydrologic and hydraulic analyses performed as part of the downstream assessment. • Downstream assessment requirement may be waived for a development that is connecting to an existing storm sewer system.
--	--	--

Exhibit 3b

Channel Description	Maximum Velocity (fps)
Minor Natural Streams	
Moderately Well-Defined Channel Vegetated	8
Irregular Channel with Pools and Meanders Vegetated	8
Floodplain, Pasture	8
Floodplain, Cultivated	8
Floodplain, Un-cleared	8
Major Natural Streams	
Moderately Well-Defined Channel Vegetated	8
Irregular Channel	8
Unlined Vegetated Channels	
Mowed Grass, Clay Soil	8
Mowed Grass, Sandy Soil	6
Unlined Un-vegetated Channels	
Clean Gravel Section	8
Shale	10
Smooth Rock	15
Lined Channels	
Smooth Finish Concrete	15
Riprap (Rubble)	10

Section 4.2.2 – Freeboard / Minimum Clearance

The second paragraph in this section shall read as follows:

Bridges should be designed with a minimum of 2 feet of freeboard from the low chord to the 1% annual chance flood elevation (under fully developed hydrologic conditions) unless a low water crossing is approved by the Director.

Section 4.7 – Roadway Overtopping

This section shall read as follows:

Ideally, the public vehicular roadway adjacent to the bridge should not overtop during the 1% annual chance storm event. All new development bridge projects must adhere to this criterion. However, for re-development, when conditions are not conducive to this goal, to prevent roadway overtopping, the profile grade of the roadway, at all points within the floodplain, must be a minimum of 1 foot above the energy grade elevation or hydraulic grade line for the 1% annual chance storm event, whichever is greater. All exceptions must be approved by the Director.

Section 5.1 – General

The second paragraph in this section shall read as follows:

Preservation of creeks in their natural condition is preferred. If it is necessary to utilize a constructed open channel, it must be designed to convey the full design discharge of the 1% annual chance storm event calculated under fully developed hydrologic conditions. Hydraulic characteristics of open channels can vary greatly and have a significant impact on the performance of open channel. Section 5.2 provides discussion of open channel hydraulics relative to channel design. Open channel design guidelines are provided in Section 5.3. Refer to Section 3.4 for bar ditch and bioswale design.

Section 6.2.1 – Design Guidance – Site Considerations

This subsection shall read as follows:

Site Considerations - Dry detention basins shall not be in areas where seasonal high groundwater is present within 2 feet of the bottom of the basin. If detention ponds are to be located in the waters of the U.S., a USACE 404 permit and any other applicable permits must be obtained. The City requires that a structurally engineered retention system have the same setback distance as a natural channel, 20 feet beyond the crest, as specified in Article 3.12 of the Code of Ordinances and shown in Exhibit 4:

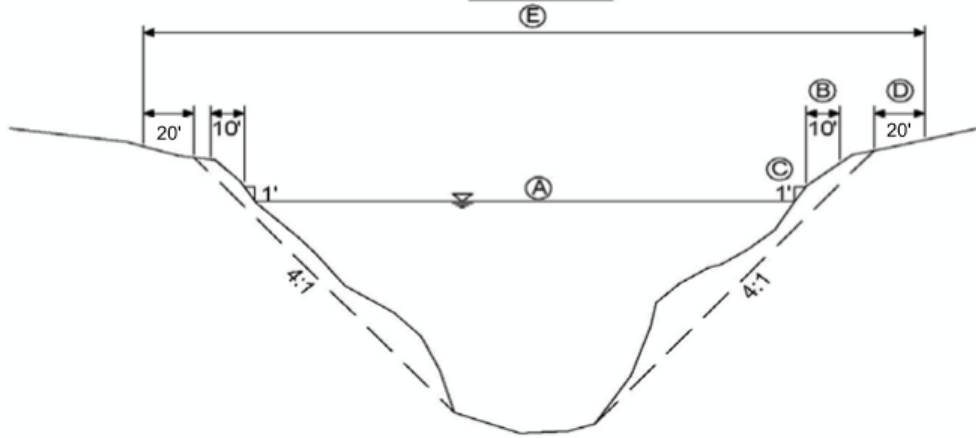
- That line formed by the intersection of the surface of the land and the vertical plane located at a horizontal distance of 20 feet beyond the crest.

- That line formed by the intersection of the surface of the land beyond the crest and a plane passing through the toe and extending upward and outward from the channel at the designated slope. For purposes of this paragraph, the designated slope is:
 - four to one if the channel contains clay or shale soil
 - three to one in all other cases.
- CREST means that line at the top of the bank where the slope becomes less than four to one.
- TOE means that line at the bottom of the bank where the slope becomes less than four to one.

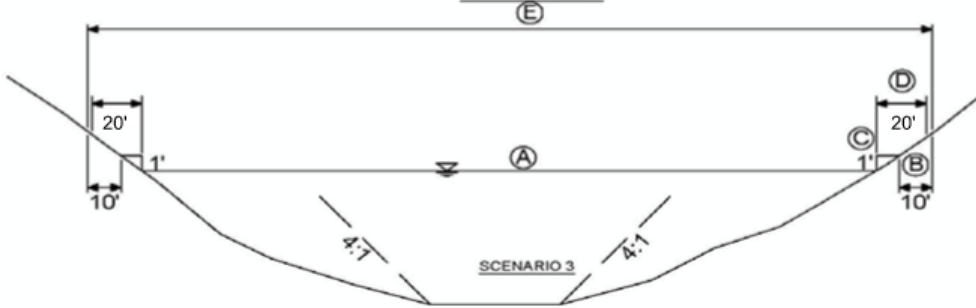
The designer should determine if a geotechnical analysis is needed to determine if more stringent requirements are necessary based on site-specific conditions.

Exhibit 4

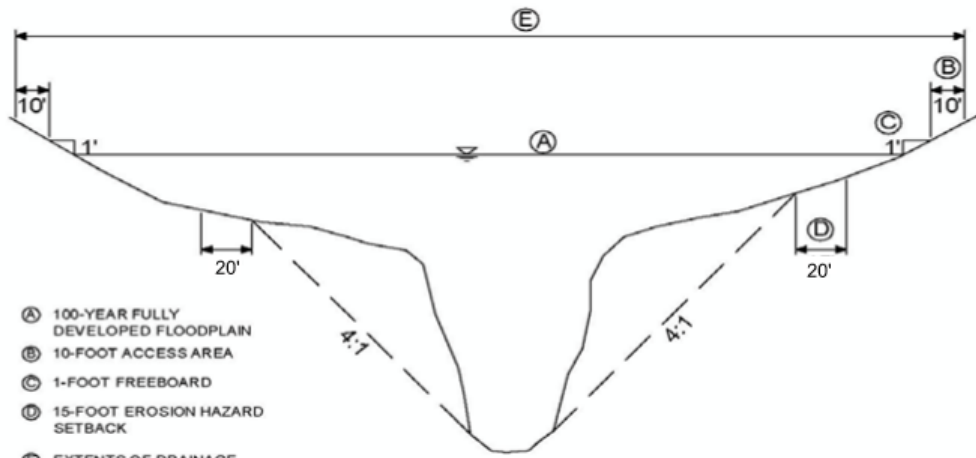
NATURAL CHANNELS: SETBACKS AND EASEMENTS
SCENARIO 1



SCENARIO 2



SCENARIO 3



- Ⓐ 100-YEAR FULLY DEVELOPED FLOODPLAIN
- Ⓑ 10-FOOT ACCESS AREA
- Ⓒ 1-FOOT FREEBOARD
- Ⓓ 15-FOOT EROSION HAZARD SETBACK
- Ⓔ EXTENTS OF DRAINAGE EASEMENT

Section 6.2.1 – Design Guidance – Freeboard and Emergency Spillway

The first paragraph of this subsection shall read as follows:

Freeboard and Emergency Spillway – Where earth embankments are used to temporarily impound the required detention, the top of the embankment will be a minimum of 2.0 feet above the maximum 1% annual chance flood level. In addition, an emergency spillway will be provided at the maximum 1% annual chance flood level to ensure that the undetained 0.2% annual chance flood event does not overtop the embankment. Under no circumstances should the emergency overflow have a direct path to any buildings or other structures used for human occupancy, commerce, or industry. An emergency overflow path between the proposed detention pond and the proposed outfall shall be identified and clearly indicated on the construction plans.

Section 8.1 – General

This section shall read as follows:

Development within floodplain or sump areas requires special consideration. The City of Glenn Heights is susceptible to flooding and has regulations in place to minimize loss of life and property. Increasing development throughout the City and within the floodplain areas can lead to increased runoff and flooding. No development may occur that raises flood water levels within floodplain areas or adversely impacts runoff storage capacity. Valley storage requirements are found in Article 3.12 of the City's Code of Ordinances. Special consideration should be given to ensure that there is no increase in water surface elevation within a project, upstream or downstream.

The floodplain in this section means any area susceptible to inundation by the design flood, even if the land has not been formally designated as a floodplain area on Regulatory Floodplain Maps.

Section 8.2.1 – Hydraulic Modeling

The second paragraph of this section shall read as follows:

Cross sections used in the hydraulic analysis shall be representative of current channel and floodplain conditions obtained by surveying. The City allows the use of the best available LiDAR data as a source of topographic information to supplement survey data. When cross section data is obtained from other studies, the data shall be confirmed to represent current channel and floodplain conditions, or new channel cross section data shall be obtained by field survey. All information should be referenced directly to the most updated vertical datum. If other datum was used for the source data, conversion information is available through the National Geodetic Survey.

Section 8.6 – FEMA Coordination

The first sentence of this section shall read as follows:

Coordination with FEMA may be necessary if development is proposed within an existing Special Flood Hazard Area (SFHA).

Section 9.2.3 – Section 404 Permitting

This section shall read as follows:

Section 404 of the Clean Water Act regulates the discharge of dredged fill materials into the Waters of the United States, including, but not limited to jurisdictional wetlands. Many projects fall under a general permit at the nationwide, regional, or state level. As the administrator of Section 404 permits, USACE provides guidance on when a nationwide or individual permit is needed for fill within the Waters of the United States. Permit applications can be found on the USACE website.

The Engineer must provide proof of compliance with applicable federal, state, and local environmental regulations upon request by the City. Potential applicable regulations and permits may include, but are not limited to:

- a. Section 404 of the Clean Water Act (33 USC 1344);
- b. Section 106 of NHPA;
- c. Water Rights;
- d. Section 303(d) impaired waters;
- e. Migratory Bird Treaty Act;
- f. Water Well Drilling;
- g. Threatened and Endangered Species Act;
- h. The Texas Archeological and Research Laboratory Requirements;
- i. The Antiquities Code of Texas;
- j. Air Quality; and,
- k. TCEQ Dam Requirements.

The Engineer is responsible for providing documentation of the relevant USACE approved permits prior to beginning modification to the floodplain, or for providing a signed and sealed statement detailing why such permits are unnecessary. A preliminary Section 404 permitting evaluation shall be included as part of the downstream assessment report for development purposes.

Should mitigation be required under Section 404 of the Clean Water Act, the areas shall be identified on the engineering construction plans.

Section 10.3 – Documentation Requirements

This section shall read as follows:

All supporting documentation must be submitted in digital format. Refer to Street Design Manual for additional requirements for storm drainage plans submittal. Hydraulic models and relevant GIS, CAD, or MicroStation files must be included on a CD, flash drive, or other electronic media as approved by the City. For downstream assessments requirements refer to the Checklist in Exhibit A-2.

Section 10.3.1 – Drainage Reports

The first paragraph in this section shall read as follows:

An electronic copy of the drainage report should be submitted to the City. A PDF file of the report must be included on a CD, flash drive, or other electronic media as approved by the City.

AN ORDINANCE OF THE CITY OF GLENN HEIGHTS, TEXAS

ORDINANCE NO. O-14-25

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GLENN HEIGHTS, TEXAS, AMENDING THE CODE OF ORDINANCES, CITY OF GLENN HEIGHTS, TEXAS, BY AMENDING CHAPTER 2 (“ANIMAL CONTROL”) TO AMEND SECTION 2.01.001 OF ARTICLE 2.01 (“GENERAL PROVISIONS”), SECTION 2.02.003 OF ARTICLE 2.02 (“ANIMAL CARE GENERALLY”), SECTION 2.04.001 OF ARTICLE 2.04 (“IMPOUNDMENT, REDEMPTION AND DISPOSITION OF ANIMALS”), AND SECTIONS 2.16.006 AND 2.16.007 OF ARTICLE 2.16 (“PUBLIC NUISANCES”), TO AMEND PROVISIONS DEFINING AND PROHIBITING ANIMALS AT LARGE, REQUIRING ALL DOGS TO BE MICROCHIPPED, REVISING IMPOUNDMENT REGULATIONS, AND ESTABLISHING NEW PENALTIES; PROVIDING A REPEALING CLAUSE; PROVIDING A SAVINGS CLAUSE; PROVIDING FOR SEVERABILITY; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED ONE THOUSAND DOLLARS (\$1,000.00) FOR EACH OFFENSE; AND PROVIDING FOR AN EFFECTIVE DATE

WHEREAS, the City Council of the City of Glenn Heights, Texas, finds and determines that the amendments herein to the City’s Animal Control regulations are needed to promote the public health, safety, and welfare by requiring the proper restraint of dogs within the City of Glenn Heights, to reduce the risk of dog attacks, prevent nuisance behavior, and ensure responsible pet ownership through clear, enforceable standards.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GLENN HEIGHTS, TEXAS, THAT:

SECTION 1: The Code of Ordinances, City of Glenn Heights, Texas, be and is hereby amended to amend Section 2.01.001 (“Definitions”) of Article 2.01 (“General Provisions”) of Chapter 2 (“Animal Control”) to amend or add the definitions of “at large,” “enclosure,” “immediate effective control,” “leash,” “public space,” and “restraint,” such that the definitions of the foregoing terms shall henceforth read in their entirety as follows:

**“CHAPTER 2
ANIMAL CONTROL**

...

**ARTICLE 2.01
GENERAL PROVISIONS**

§2.02.001 Definitions.

For the purposes of this chapter, the following terms, phrases and words used herein shall be interpreted to read as follows; and any words not herein defined shall be construed in the context used and by ordinary interpretation, and not as a word of art:

...

At large. Any animal, other than a domestic cat, that is off the premises of the owner and not under the immediate effective control of a person. A domestic cat shall be considered at large when not located on the premises owned or controlled by its owner and not otherwise under immediate effective control.

...

Enclosure. A securely fenced yard, kennel, structure or device used to immediately restrict any animal or animals to the premises that is locked, capable of preventing entry by the general public, including children, and capable of preventing the escape or release of the animal. Invisible fences consisting of electronic containment systems using radio signals to define boundaries shall not be regarded as an enclosure.

...

Immediate effective control. Not secured by restraint or leash.

...

Leash. A physical tether consisting of a chord, rope or chain not exceeding six (6) feet in length, held by a person capable of controlling the dog.

...

Public Space. Any place to which the public or a substantial group of the public may have access, including but not limited to streets, sidewalks, parks, trails, and other property open to the general public.

...

Restraint. Secured by a leash or secured within an enclosure that prevents an animal from coming any closer than six (6) feet to a public walkway or sidewalk.

...”

SECTION 2: The Code of Ordinances, City of Glenn Heights, Texas, be and is hereby amended to amend Article 2.02 (“Care of Animals”) of Chapter 2 (“Animal Control”) to add a new Section 2.02.003, entitled, “Microchipping of Dogs,” without amendment, repeal or change to any other part or section of Article 2.02, such that Section 2.02.003 shall henceforth read in its entirety as follows:

“CHAPTER 2

ANIMAL CONTROL

...

**ARTICLE 2.02
CARE OF ANIMALS**

...

§ 2.02.003 Microchipping of dogs.

- (a) For the purposes of this chapter, “microchip” means a passive electronic device that is injected or implanted subcutaneously into a dog for the purposes of identification and recovery.
- (b) A person commits an offense if a dog owned by the person does not have a microchip.
- (c) A person commits an offense if the person fails to maintain current contact information with a microchip registration company for a microchipped dog owned by the person.
- (d) It is a defense to prosecution under this section if:
 - (1) the dog is under the age of four months;
 - (2) the dog has been kept or has resided in the city for less than 30 days;
 - (3) the dog is being held for adoption by the city’s animal control facility or an animal welfare organization;
 - (4) the owner presents a medical certification from a licensed veterinarian indicating that microchipping would be harmful to the dog;
 - (5) the person establishes that the dog was microchipped within 30 days after the citation charging him with an offense under this section was issued; or
 - (6) the person establishes that the person’s contact information with a microchip registration company was updated and made current within 30 days after the citation charging him with an offense under this section was issued.”

SECTION 3: The Code of Ordinances, City of Glenn Heights, Texas, be and is hereby amended to amend Section 2.04.001 (“Impoundment Generally”) of Article 2.04 (“Impoundment, Redemption and Disposition of Animals”) of Chapter 2 (“Animal Control”) to amend Section 2.04.001, such that Section 2.04.001 shall henceforth read in its entirety as follows:

**“CHAPTER 2
ANIMAL CONTROL**

...

**ARTICLE 2.04
IMPOUNDMENT, REDEMPTION AND DISPOSITION OF ANIMALS**

§ 2.04.001 Impoundment generally.

- (a) City enforcement agents are hereby authorized to capture and impound any animal found at large or upon having probable cause to believe said animal to be in violation of any provision of this chapter or state law which authorizes or requires the animal's capture and impoundment, and in so doing, to enter upon any fenced or unfenced lot, tract or parcel of land when deemed necessary for the protection of the public health, safety and welfare, as allowed by law. As a matter of policy, city enforcement agents shall not enter upon private property to capture and/or impound any animal known to belong to the owner of said property without probable cause. An animal control agent may enter upon the property, as allowed by law, to capture an animal if it is believed that said animal poses a threat or danger to property, human beings or other animals.

- (b) Additionally, it is the responsibility of the city enforcement agent to accept any animal delivered to the animal control facility pursuant to the requirements of this chapter, except those animals that are voluntarily released by their owners. For an animal to be voluntarily released, the owner must sign an owner release form, pay necessary fees, and if the animal is a dog, microchip the dog by placing or authorizing the placement of a microchip identification device on the dog. In addition, it is the duty of the city enforcement agent to capture and impound wild or nondomesticated animals in response to citizens' complaints of public nuisance or to control feral populations.

- (c) If the owner has not redeemed an impounded animal within three days from its capture and impoundment, ownership of the animal shall be deemed forfeited by the owner and shall automatically revert to the city. Transfer of ownership for animals wearing a current city license tag will occur six days after impoundment. The foregoing periods shall be extended for any period in which the animal is held under quarantine. As a precondition of forfeiture of ownership, the city shall take reasonable steps to notify or make the animal available for retrieval by the owner. An owner may nevertheless redeem the animal following the time periods at the discretion of the animal services manager; provided, however, that if the owner has failed to redeem the animal, the animal may be given to a nonprofit humane organization, placed for adoption, humanely destroyed, or disposed of in any manner deemed reasonable by the city."

SECTION 4: The Code of Ordinances, City of Glenn Heights, Texas, be and is hereby amended to amend Section 2.16.006 ("Animals at Large Prohibited") of Article 2.16 ("Public Nuisances") of Chapter 2 ("Animal Control") to amend Section 2.16.006, such that Section 2.16.006 shall henceforth read in its entirety as follows:

**"CHAPTER 2
ANIMAL CONTROL**

...

**ARTICLE 2.16
PUBLIC NUISANCES**

...

§2.16.006 Animals at large prohibited.

- (a) It shall be unlawful for any owner to fail to prevent an animal from chasing vehicles or molesting, attacking, or interfering with other animals or persons off the premises of the owner.
- (b) A dog must be under the immediate effective control of the owner when in a public space.
- (c) While on the premises of the owner, dogs must be confined within a secure enclosure or physically restrained by a leash or tether. Open garages, unfenced yards, or invisible fences – electronic containment systems using radio signals to define boundaries – shall not constitute an enclosure or sufficient restraint.
- (d) It shall be unlawful for an owner to fail to prevent an animal from running at large. It shall be a defense to the foregoing prohibition if:
 - (1) a dog is in a designated off-leash dog park;
 - (2) a dog is in a city-approved no-leash zone; or
 - (3) a dog is in an enclosed area where conspicuous signage indicates that lease-free access is permitted.
 - (4) a dog is used by a law enforcement agency actively engaged in official law enforcement duties;
 - (5) an animal is a certified service animal when performing duties for individuals with disabilities; or
 - (6) a dog is participating in an organized permitted public event authorized by the city.
- (e) Any animal found at large may be seized and impounded by City enforcement agents.”

SECTION 5: The Code of Ordinances, City of Glenn Heights, Texas, be and is hereby amended to amend Section 2.16.007 (“Enhancement of Penalty”) of Article 2.16 (“Public Nuisances”) of Chapter 2 (“Animal Control”) to amend Section 2.16.007, such that Section 2.16.007 shall henceforth read in its entirety as follows:

**“CHAPTER 2
ANIMAL CONTROL**

...

**ARTICLE 2.16
PUBLIC NUISANCES**

...

§2.16.007 Enhancement of penalty.

- (a) Notwithstanding any other provision of this chapter, a violation of this article is a misdemeanor offense and, upon conviction, is punishable by fine not to exceed:

- (1) \$250 for the first offense;
 - (2) \$500 for a second offense occurring within twelve months of a conviction for a first offense; and
 - (3) \$1,000 for a third or subsequent offense.
- (b) Upon conviction of a third or subsequent offense under this article, the City enforcement agent may refer the matter to the City’s municipal court which may, after a hearing, declare ownership of the animal forfeited and order transfer of ownership of the animal to the City.
- (c) Violations of the provisions of this article are deemed strict liability offenses. No intent need be pleaded or proven in the prosecution of any offense or violation of any provision of this article.”

SECTION 6. All provisions of the Ordinances of the City of Glenn Heights, Texas, in conflict with the provisions of this ordinance be and are hereby repealed and all other provisions of the ordinances of the City of Glenn Heights, Texas, not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 7: An offense committed before the effective date of this ordinance is governed by the prior law and the provisions of the Code of Ordinances, as amended, in effect when the offense was committed, and the former law is continued in effect for this purpose.

SECTION 8: Should any sentence, paragraph, subdivision, clause, phrase, or section of this ordinance or the Code of Ordinances, as amended hereby, be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this ordinance or the Code of Ordinances as a whole, or any part or provision thereof, other than the part declared to be invalid, illegal, or unconstitutional.

SECTION 9. Any person, firm, or corporation violating any of the provisions or terms of this ordinance shall be subject to a penalty by fine not to exceed one thousand dollars (\$1,000.00) for each offense, and each and every day such violation continues or is allowed to exist shall constitute a separate offense.

SECTION 10: This ordinance shall take effect from and after the ____ day of _____, 2025, and from and after its passage and the publication of its caption, as the law and charter in such cases provide.

Duly Passed by the City Council of the City of Glenn Heights, Texas this _____ day of _____, 2025.

Approved:

Sonja A. Brown, Mayor

Attest:

Brandi Brown, City Secretary

Approved as to Form:

David M. Berman, City Attorney



CITY OF GLENN HEIGHTS CITY COUNCIL REPORT

Date: July 15, 2025

SUBJECT

This item will allow the City Council to consider appointing new members or reappointing current commissioners to Places 1, 4, and 7 of the Planning and Zoning Commission.

DISCUSSION / BACKGROUND

Pursuant to Article II of the Glenn Heights Zoning Ordinance, the Planning and Zoning Commission (P&Z) shall consist of seven (7) members appointed by the City Council, as set forth in Article 10 of the City Charter. At its discretion, the City Council may nominate individuals for each Commission Place and may convene an interview panel to evaluate the nominees.

Each member of the Commission shall hold a designated Place, ranging from Place 1 to Place 7, and shall be appointed to a three (3) year term. Place 1, Place 4, and Place 7 shall rotate together; Place 2 and Place 5 shall rotate together; and Place 3 and Place 6 shall rotate together.

The table below illustrates the current Commissioners, their Place numbers, and their respective terms:

PLANNING AND ZONING COMMISSION			
NAME	PLACE	EXPIRATION DATE	NOTE
Austin Kelley (Chair)	1	June 30, 2025	Expired
April Stokes	2	July 31, 2026	Not Expired
Arnold Lenoris Davis, Jr.	3	July 31, 2027	Not Expired
Stevelyn Miller	4	July 30, 2025	Expired
Brodrick K. Rhodes	5	July 31, 2026	Not Expired

Dr. Kelvin Stroy, Sr. 6
Tabitha Gamble 7

July 31, 2027
June 30, 2025

Not Expired
Expired

Staff have received notification from Commissioner Kelly (Place 1), Miller (Place 4) and Gamble (Place 7) for their desire to be reappointed to the Commission. Additionally, Staff have received an application from:

- Enrique Salazar (Land Development Background)
- Marlo Jackson (Human Resources and Real Estate Background)
- Alonzo Dukes

Section II.2.3 – Members, Alternate Members, and Appointments - Terms of Office

In accordance with Chapter 211 of the Texas Local Government Code and Article 10 of the Glenn Heights City Charter, the Planning and Zoning Commission (“Commission”) shall consist of seven (7) members appointed by the City Council as set forth by Article 10 of the City Charter. At its discretion, the City Council may make nominations for each Commission Place and seat an interview panel for purposes of evaluating nominees. The panel shall make recommendations of candidates to the City Council. A simple majority vote of the full City Council shall confirm the appointment of the Commission members. Each Commission member shall be a resident citizen, taxpayer, and qualified voter of the City of Glenn Heights. Each member of the Commission shall hold a designated Place, from Place 1 to Place 7, and each Place shall be appointed to a three (3) year term. Place 1, Place 4, and Place 7 shall rotate together, Place 2 and Place 5 shall rotate together, and Place 3 and Place 6 shall rotate together. New members shall be sworn in at the first regular Commission meeting following their appointment.

PRIOR COUNCIL OR BOARD ACTION

Not applicable.

PUBLIC CONTACT

Staff posted commission seat vacancies on the City's website and social media accounts.

FINANCIAL IMPACT

Not applicable.

RECOMMENDATION / ALTERNATIVES

Staff recommends the reappointment of Austin Kelley to Place 1, and the appointment of Enrique Salazar to Place 7. There is no recommendation for Place 4.

ATTACHMENTS

1. Enrique Salazar - Redacted
2. Marlo Jackson - Redacted
3. Alonzo Dukes - Redacted

PREPARED BY

Parviz Pourazizian, Director of Planning and Development Services

REVIEWED BY

Brandi Brown, City Secretary



City of Glenn Heights Volunteer Application

Planning and Zoning Commission

Contact Information

Name	Enrique R. Salazar
Street Address	
City ST ZIP Code	
Home Phone	
Work Phone	
E-Mail Address	

Commission Information and Required Availability

The Planning and Zoning Commission generally meets on the 2nd and 4th Monday of each month, as Planning and Zoning Commission business dictates. The meetings begin at 6:30 p.m. The length of the meetings vary but may be up to 1 ½ hours.

Special Skills or Qualifications

Summarize special skills and qualifications you have acquired from employment, previous volunteer work, or through other activities, including hobbies or sports.

Have been in the land development space for about 5 years, working with various jurisdictions on new developments all over the DFW area. Ive been to many P and Z meetings and city council meetings. I have a good understanding for zoning codes ordinances and variances that could possibly benefit new developments. Just recently moved to Glenn Heights and looking to help the community im calling home.

Previous Volunteer Experience

Summarize your previous volunteer experience with the City or other organizations.


I am currently on the Zoning board of adjustments with the city of glenn heights. I have not had the chance to volunteer at another city but i have had lots of experience working with various jurisdictions and attending P&Z and City council meetings throughmy work. My company is working with [REDACTED] to revitalize south dallas currently in the [REDACTED] area. My goal is to continue to grow Glenn Heights both within the city government body and outside in my own capacity as a developer. Being an Alternate on the Board of Adjustments is a great start but id love to be more involed.

Person to Notify in Case of Emergency

Name	Daphne Hicks
Street Address	[REDACTED]
City ST ZIP Code	[REDACTED]
Home Phone	[REDACTED]
Work Phone	[REDACTED]
E-Mail Address	[REDACTED]

Agreement and Signature

By submitting this application, I affirm that I am a resident of the City of Glenn Heights and a qualified voter of the City of Glenn Heights.

Name (printed)	Enrique Salazar
Signature	
Date	7/7/25

Our Policy

It is the policy of the City of Glenn Heights to provide equal opportunities without regard to race, color, religion, national origin, gender, sexual preference, age, or disability.

The information contained on this form is subject to release under the Texas Public Information Act upon filing with the Office of the City Secretary.

Thank you for completing this application form and for your interest in your service to the City of Glenn Heights.

Please return this form to the Office of the City Secretary. Forms may be completed and emailed to: brandi.brown@glennheightstx.gov or mailed to:

Brandi Brown
City Secretary
1938 S Hampton Road
Glenn Heights, TX 75154

Thank you.



City of Glenn Heights Volunteer Application

Planning and Zoning Commission

Contact Information

Name	Marlo Jackson
Street Address	
City ST ZIP Code	
Home Phone	
Work Phone	
E-Mail Address	

Commission Information and Required Availability

The Planning and Zoning Commission generally meets on the 2nd and 4th Monday of each month, as Planning and Zoning Commission business dictates. The meetings begin at 6:30 p.m. The length of the meetings vary but may be up to 1 ½ hours.

Special Skills or Qualifications

Summarize special skills and qualifications you have acquired from employment, previous volunteer work, or through other activities, including hobbies or sports.

With over 23 years of experience in Human Resources and 8 years as a licensed Realtor, I bring a strong foundation in people-focused service, communication, and problem-solving. My HR background has honed my abilities in recruitment, employee relations, conflict resolution, training, and compliance, all while maintaining professionalism and discretion. In my real estate career, I've developed expertise in client relations, negotiations, marketing, and guiding individuals and families through one of the most important financial decisions of their lives.

Previous Volunteer Experience

Summarize your previous volunteer experience with the City or other organizations.

While I have not had extensive formal volunteer experience, I have occasionally participated in community efforts such as feeding the homeless—an experience that deeply impacted me and reinforced the importance of giving back. I am now at a point in my life where I am eager to become more involved in meaningful volunteer work with the City or other organizations. I'm passionate about serving others and look forward to contributing my time, skills, and energy to help support and strengthen the community.

Person to Notify in Case of Emergency

Name	Whitney Reed
Street Address	
City ST ZIP Code	
Home Phone	
Work Phone	
E-Mail Address	

Agreement and Signature

By submitting this application, I affirm that I am a resident of the City of Glenn Heights and a qualified voter of the City of Glenn Heights.

Name (printed)	Marlo Jackson
Signature	Marlo Jackson
Date	5/2/25

Our Policy

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Please return this form to the Office of the City Secretary. Forms may be completed and emailed to: brandi.brown@glennheightstx.gov or mailed to:

Brandi Brown
City Secretary
1938 S Hampton Road
Glenn Heights, TX 75154

Thank you.



City of Glenn Heights Volunteer Application

Planning and Zoning Commission

Contact Information

Name	Alonzo Dukes
Street Address	[REDACTED]
City ST ZIP Code	
Home Phone	
Work Phone	
E-Mail Address	

Commission Information and Required Availability

The Planning and Zoning Commission generally meets on the 2nd and 4th Monday of each month, as Planning and Zoning Commission business dictates. The meetings begin at 6:30 p.m. The length of the meetings vary but may be up to 1 ½ hours.

Special Skills or Qualifications


Summarize special skills and qualifications you have acquired from employment, previous volunteer work, or through other activities, including hobbies or sports.

Previous Volunteer Experience

Summarize your previous volunteer experience with the City or other organizations.

--

Person to Notify in Case of Emergency

Name	Byron Marks
Street Address	
City ST ZIP Code	
Home Phone	
Work Phone	
E-Mail Address	

Agreement and Signature

By submitting this application, I affirm that I am a resident of the City of Glenn Heights and a qualified voter of the City of Glenn Heights.

Name (printed)	Alonzo Lee Dukes III
Signature	
Date	5/7/2025

Our Policy

It is the policy of the City of Glenn Heights to provide equal opportunities without regard to race, color, religion, national origin, gender, sexual preference, age, or disability.

The information contained on this form is subject to release under the Texas Public Information Act upon filing with the Office of the City Secretary.

Thank you for completing this application form and for your interest in your service to the City of Glenn Heights.

Please return this form to the Office of the City Secretary. Forms may be completed and emailed to: brandi.brown@glennheightstx.gov or mailed to:

Brandi Brown
City Secretary
1938 S Hampton Road
Glenn Heights, TX 75154

Thank you.



CITY OF GLENN HEIGHTS CITY COUNCIL REPORT

Date: July 15, 2025

SUBJECT

This item will allow the City Council to discuss proposed November 2025 General Election Charter Review Amendments. (Brandi Brown, City Secretary)

DISCUSSION / BACKGROUND

Based on initial feedback received from the City Council, the following amendments are currently being considered:

PROPOSITION A

Shall Section 2.01 of the Home Rule Charter be amended by extending the terms of office of the mayor and city council members from three (3) years to four years (4), extending the period of ineligibility of term-limited members from three (3) to four (4) years, and adding transitional language such that four-year terms of office will begin for the mayor and Councilmembers elected in the November, 2026, election.

PROPOSITION B

Shall Section 2.01 of the Home Rule Charter be amended to provide for compensation for the Mayor of \$1,000 monthly and for Councilmembers of \$500 monthly.

PROPOSITION C

Shall Section 2.03 of the Home Rule Charter be amended to disqualify candidacy for a seat on the City Council for persons who have previously been removed by the Council for misconduct.

PROPOSITION D

Shall Section 2.11 of Article 2 of the Home Rule Charter be amended to repeal the requirement that all ordinances must be considered at two separate City Council meetings prior to adoption.

PROPOSITION E*

Shall Section 3.06 of Article 3 of the Home Rule Charter be amended to provide that elections for Mayor and Councilmembers be by plurality instead of majority voting, such that the candidate receiving more votes than any other candidate will be declared elected.

*This proposed amendment is not a Charter Commission recommendation.

PROPOSITION F

Shall Section 5.11 of the Home Rule Charter be amended to authorize the City Council to appoint a Council Liaison.

PROPOSITION G

Shall Section 13.06 of the Home Rule Charter be amended to provide that notices of claims against the City shall be filed within 45 days of the incident giving rise to the claim.

PRIOR COUNCIL OR BOARD ACTION

Not applicable.

PUBLIC CONTACT

Not applicable.

FINANCIAL IMPACT

Not applicable.

RECOMMENDATION / ALTERNATIVES

There is no Staff recommendation.

ATTACHMENTS

1. Presentation - Charter Review Amendments

PREPARED BY

Brandi Brown, City Secretary

REVIEWED BY

Shane King, Executive Assistant

CITY CHARTER AMENDMENTS



JULY 15, 2025

BRANDI BROWN
CITY SECRETARY

PROPOSITION A



§ 2.01 Number, Selection, Term of Office and Compensation.

- Shall Section 2.01 of the Home Rule Charter be amended by extending the terms of office of the mayor and city council members from three (3) years to four years (4), extending the period of ineligibility of term-limited members from three (3) to four (4) years, and adding transitional language such that four-year terms of office will begin for the mayor and councilmembers elected in the November, 2026, election.

PROPOSITION B



§ 2.01 Number, Selection, Term of Office and Compensation.

- Shall Section 2.01 of the Home Rule Charter be amended to provide for compensation for the Mayor of \$1,000 monthly and for Councilmembers of \$500 monthly.

PROPOSITION C



§ 2.03 Qualifications.

- Shall Section 2.03 of the Home Rule Charter be amended to disqualify candidacy for a seat on the City Council for persons who have previously been removed by the Council for misconduct.

PROPOSITION D



§ 2.11 Procedure to Enact Legislation.

- Shall Section 2.11 of Article 2 of the Home Rule Charter be amended to repeal the requirement that all ordinances must be considered at two separate City Council meetings prior to adoption.

PROPOSITION E*



§ 3.06 ~~Election Runoff.~~ Election by Plurality.

- Shall Section 3.06 of Article 3 of the Home Rule Charter be amended to provide that elections for Mayor and Councilmembers be by plurality instead of majority voting, such that the candidate receiving more votes than any other candidate will be declared elected.

*This proposed amendment is not a Charter Commission recommendation.

PROPOSITION F



§ 5.11 City Secretary.

- Shall Section 5.11 of the Home Rule Charter be amended to authorize the City Council to appoint a Council Liaison.

PROPOSITION G



§ 13.06 Notice of Claim.

- Shall Section 13.06 of the Home Rule Charter be amended to provide that notices of claims against the City shall be filed within 45 days of the incident giving rise to the claim.

QUESTIONS



COMMENTS



CITY OF GLENN HEIGHTS CITY COUNCIL REPORT

Date: July 15, 2025

SUBJECT

The City Council will consider a Resolution to award a contract to Birkhoff, Hendricks & Carter, L.L.P. for the development of engineering plans for the Cinnamon Springs Waterline Replacement Project (RFQ 2025-01).

DISCUSSION / BACKGROUND

The City of Glenn Heights issued Request for Qualifications (RFQ 2025-01) for the development of engineering plans for the Cinnamon Springs Waterline Replacement Project. In response, four proposals were received and thoroughly evaluated by City staff. Following the evaluation process, Birkhoff, Hendricks & Carter, L.L.P., a Texas-registered engineering firm, was selected to lead the project.

This project is funded through the Ellis County 2023 American Rescue Plan Act (ARPA) Community Grant, from which the City was awarded \$2,000,000.00. All funds must be expended by October 31, 2026.

The scope of the project includes the replacement and installation of a new 8-inch waterline within the Cinnamon Springs Subdivision. This upgrade will significantly reduce maintenance needs by replacing aging ductile iron pipes, thereby enhancing long-term service reliability for the community.

Design and construction are expected to be completed by August 2026.

PRIOR COUNCIL OR BOARD ACTION

The City Council previously accepted this funding via Resolution R-36-23 in November 2023.

PUBLIC CONTACT

City staff published newspaper notices twice during the RFQ process.

FINANCIAL IMPACT

At this time, the project will be fully funded by ARPA funds. This will be revisited once construction bids are received.

RECOMMENDATION / ALTERNATIVES

Staff recommends approval of Resolution R-20-25 to award a contract for the development of plans for the Cinnamon Springs Waterline Replacement Project to Birkhoff, Hendricks & Carter, L.L.P., a Texas corporation registered to do business in the State of Texas, in an amount not to exceed \$216,400.00.

ATTACHMENTS

1. Presentation - Professional Services Agreement
2. Resolution R-20-25

PREPARED BY

Parviz Pourazizian, Director of Planning and Development Services

REVIEWED BY

Brandi Brown, City Secretary

CINNAMON SPRINGS WATERLINE REPLACEMENT DESIGN CONTRACT



PARVIZ R POURAZIZIAN, DIRECTOR OF PLANNING &
DEVELOPMENT SERVICES

JULY 15, 2025

PROFESSIONAL SERVICES



Applicant: Parviz Pourazizian

Location: Cinnamon Springs Subdivision

Request: Professional Service Agreement (Design)

Consultant: Birkhoff, Hendricks & Carter, L.L.P

Cost: \$216,400.00 (Ellis County ARPA funds "\$2M".)

RESOLUTION



A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GLENN HEIGHTS, TEXAS, APPROVING AND AUTHORIZING THE CITY MANAGER TO EXECUTE A PROFESSIONAL SERVICES AGREEMENT BETWEEN THE CITY OF GLENN HEIGHTS AND BIRKHOFF, HENDRICKS & CARTER, L.L.P. FOR THE PROVISION OF PROFESSIONAL ENGINEERING SERVICES FOR THE CINNAMON SPRINGS WATERLINE REPLACEMENT PROJECT.



COST BREAKDOWN

<u>Task</u>		<u>Fee Amount</u>
<u>BASIC SERVICES</u>		
Compensation for Basic Services described under Section I, Tasks 1-3 shall be based on a Lump Sum Basis in the following amounts.		
1	Design Phase	\$125,700.00
2	Bidding Phase	\$4,000.00
3	Construction Administration Phase	\$28,500.00
Basic Services Subtotal:		\$158,200.00
Compensation for Additional Services under Section II, Tasks 4-6 shall be on an hourly basis of salary cost times a multiplier of 2.49 for time expended on the task. Field survey crew shall be based on \$195.00 per hour, inclusive of all equipment rentals and software licensing; plus, mileage charge at the IRS established rate. Expenses shall be at invoice cost times a multiplier of 1.15.		
<u>ADDITIONAL SERVICES</u>		
4	Design Survey	\$27,100.00
5	Level A Subsurface Utility Exploration (SUE)	\$27,600.00
6	Record Drawings	\$2,000.00
7	Miscellaneous Expenses	\$1,500.00
Additional Services Subtotal:		\$58,200.00
Total Not To Exceed Amount:		\$216,400.00



SCHEDULE

COMPLETION SCHEDULE

Notice to Proceed	June 24, 2025
Begin Field Surveys	June 27, 2025
Complete Field Surveys	July 18, 2025
Submit Preliminary Plans to City for Review	October 17, 2025
Receive Review Comments from City	October 31, 2025
Complete Final Plans	December 19, 2025
Advertise Project	January 2026
Receive Bid	January 2026
Award Contract	February 2026
Construction	March 2026 thru August 2026

RECOMMENDATION



- Staff recommends approval of the contract.

QUESTIONS



COMMENTS

**CITY OF GLENN HEIGHTS, TEXAS
RESOLUTION NO. R-20-25**

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GLENN HEIGHTS, TEXAS, APPROVING AND AUTHORIZING THE CITY MANAGER TO EXECUTE A PROFESSIONAL SERVICES AGREEMENT BETWEEN THE CITY OF GLENN HEIGHTS AND BIRKHOFF, HENDRICKS & CARTER, L.L.P. FOR THE PROVISION OF PROFESSIONAL ENGINEERING SERVICES FOR THE CINNAMON SPRING WATERLINE REPLACEMENT PROJECT; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City Council of the City of Glenn Heights has been presented with the proposed Agreement for Professional Services by and between the City of Glenn Heights and Birkhoff, Hendricks & Carter, L.L.P. (the “Agreement”) for services associated with the provision of engineering services for the Cinnamon Spring Waterline Replacement Project; and

WHEREAS, the City Council finds that it is in the public interest to approve the Agreement;

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF GLENN HEIGHTS, TEXAS, THAT:

SECTION 1. The Professional Services Agreement between the City of Glenn Heights and Birkhoff, Hendricks & Carter, L.L.P., in substantially the form of that attached hereto and incorporated herein by this reference as Exhibit “A,” is hereby approved and the City Manager is hereby authorized to execute the agreement and any necessary or appropriate documents related thereto on the City’s behalf, and to accept and approve such contract amendments as the City Manager deems reasonable, necessary, in the public interest, in compliance with applicable law and City policy, and, in the case of an increase in contract price, subject to the availability of funds.

SECTION 2. This Resolution shall become effective immediately upon its passage.

DULY RESOLVED AND ADOPTED by the City Council of the City of Glenn Heights, Texas, this the 15th day of July, 2025.

APPROVED:

Sonja A. Brown, Mayor

ATTEST:

Brandi Brown, City Secretary

APPROVED AS TO FORM:

David Berman, City Attorney

EXHIBIT "A"
Agreement for Professional Services

STATE OF TEXAS §
 §
COUNTY OF DALLAS §

AGREEMENT FOR PROFESSIONAL SERVICES

This Agreement for Professional Services (“Agreement”) is made by and between the City of Glenn Heights, Texas (“City”) and Birkhoff, Hendricks & Carter, L.L.P., a limited liability partnership company, (“Professional”) (each a “Party” and collectively the “Parties”), acting by and through their authorized representatives.

RECITALS:

WHEREAS, the City desires to engage the services of the Professional as an independent contractor, and not as an employee, to provide services described in Exhibit “A” (the “Scope of Services”) to assist the City in the design and construction of the Cinnamon Springs Waterline Replacement project, (the “Project”) on the terms and conditions set forth in this Agreement; and

WHEREAS, the Professional desires to render services for the City on the terms and conditions set forth in this Agreement;

NOW THEREFORE, in consideration of the mutual covenants set forth herein, and other valuable consideration, the sufficiency and receipt of which are hereby acknowledged, the Parties agree as follows:

**Article I
Term**

1.1 This Agreement shall commence on the last date of execution hereof (“Effective Date”) and continue for one-year automatically renewable terms unless sooner terminated as provided herein.

1.2 Either Party may terminate this Agreement by giving thirty (30) days prior written notice to the other Party. In the event of such termination the Professional shall deliver to City all finished and unfinished documents, data, studies, surveys, drawings, maps, models, reports, photographs, or other items prepared by the Professional in connection with this Agreement. Professional shall be entitled to compensation for any services completed to the reasonable satisfaction of the City in accordance with this Agreement prior to such termination.

**Article II
Scope of Service**

2.1 The Professional shall perform the services in connection with the Project as set forth in the Scope of Services. The Professional shall perform the services with: (i) the professional skill and care ordinarily provided by competent architects or engineers, as the case may be, practicing in the same or similar locality and under the same or similar circumstances and professional license; and (ii) as expeditiously as is prudent considering the ordinary professional skill and care of a competent architect or engineer, as the case may be. If the Professional is not a

licensed engineer or registered architect, the Professional shall perform the services: (i) with the skill and care ordinarily provided by similar professionals practicing in the same or similar locality and under the same circumstances and applicable licenses or certifications; and (ii) as expeditiously as is prudent considering the ordinary skill and care of similar competent professionals.

2.2 The City shall, prior to commencement of services, provide the Professional with the information set forth in the Scope of Services, if any.

2.3 Licenses. Professional represents to City that Professional possesses any and all licenses which may be required by the State of Texas or any other governmental entity having jurisdiction as may be necessary for the performance of Professional's services pursuant to this Agreement.

2.4 Information/Confidentiality. City will furnish to Professional such information with respect to the Project as Professional may reasonably request in order to render Professional's services effectively. Professional will hold in strict confidence all information with respect to the Project which is furnished to Professional by City in confidence, and which is not otherwise publicly available and/or not required, as a matter of law or proper business practice, to be disclosed to a third party in connection with the services for the Project.

2.5 Deliverables. Upon execution of this Agreement the City has the right to use the Professional's instruments of service, including but not limited to, reports, maps, cost estimates, recommendations, or other deliverables for the Project, provided that the City substantially performs its obligations, including prompt payment of all sums when due under this Agreement. City's employees, agents, contractors, and subcontractors may reproduce applicable portions of the instruments of service for use in performing services or construction related to the Project. Upon payment of all amounts due Professional hereunder, all deliverables, materials and reports prepared by the Professional in connection with this Agreement shall become the property of the City. The City shall have the right to publish, disclose, distribute, and otherwise use such deliverables, materials and reports only for those purposes for which they were intended. Subject to the foregoing, Professional shall, upon completion of the services, or earlier termination, provide the City with the deliverables, drawings, reports, maps, and materials prepared by Professional as set forth in the Scope of Services.

2.6 Conflict of Interest. Professional agrees to notify City and seek City's approval prior to Professional's retention by any other individuals or entities, which either directly or indirectly may create a conflict of interest in Professional's services under this Agreement. City may deny any such approval for Professional's retention set forth above, in the event City, in City's sole and absolute discretion, should conclude that such retention would have an adverse effect on Professional's services under this Agreement.

2.7 Opinion of Probable Costs. Professional will, if required by the Scope of Services, furnish an opinion of probable Project development cost based on present day cost, but does not guarantee the accuracy of such estimates. Opinions of probable cost, financial evaluations,

feasibility studies, economic analyses of alternate solutions and utilitarian considerations of operations and maintenance costs prepared by Professional hereunder will be made on the basis of Professional's cost of labor, material, equipment, or services furnished by others or over market conditions or contractors' methods of determining their prices.

Article III Schedule of Work

3.1 The Professional agrees to complete the required services in accordance with the Project Schedule outlined in the Scope of Services. Time is of the essence in the performance of services under this Agreement.

Article IV Compensation and Method of Payment

4.1 Professional will be compensated in accordance with the payment schedule and amounts set forth in the Scope of Services. Unless otherwise provided herein, payment to the Professional shall be monthly based on the Professional's monthly progress report and detailed monthly itemized statement for services that shows the names of the Professional's employees, agents, contractors performing the services, the time worked, the actual services performed, the rates charges for such service, reimbursable expenses, the total amount of fee earned to date, and the amount due and payable as of the current statement, in a form reasonably acceptable to the City. Monthly statements shall include authorized non-salary expenses with supporting itemized invoices and documentation. The City shall pay such monthly statements within thirty (30) days after receipt and City verification of the services and expenses unless otherwise provided herein.

4.2 Unless otherwise provided in the Scope of Services the Professional shall be responsible for all expenses related to the services provided pursuant to this Agreement including, but not limited to, travel, copying and facsimile charges, telephone, internet, and email charges.

4.3 The hourly rates set forth in the Scope of Services, if any, shall remain in effect during the term of this Agreement. Any changes to established hourly rates shall require the prior written consent of the City.

Article V Devotion of Time; Personnel; and Equipment

5.1 The Professional shall devote such time as reasonably necessary for the satisfactory performance of the services under this Agreement. Should the City require additional services not included under this Agreement, the Professional shall make reasonable effort to provide such additional services within the time schedule without decreasing the effectiveness of the performance of services required under this Agreement and shall be compensated for such additional services on a time and materials basis, in accordance with Professional's standard hourly rate schedule, or as otherwise agreed between the Parties.

5.2 To the extent reasonably necessary for the Professional to perform the services under this Agreement, the Professional shall be authorized to engage the services of any agents, assistants, persons, or corporations that the Professional may deem proper to aid or assist in the performance of the services under this Agreement. The Professional shall provide written notice to and obtain written approval from the City prior to engaging services not referenced in the Scope of Services. The cost of such personnel and assistance shall be included as part of the total compensation to be paid Professional hereunder and shall not otherwise be reimbursed by the City unless otherwise provided herein.

5.3 The Professional shall furnish the facilities, equipment, and personnel necessary to perform the services required under this Agreement unless otherwise provided herein.

5.4 The Professional shall submit monthly progress reports and attend monthly progress meetings as may be required by the City from time to time based upon Project demands. Each progress report shall detail the work accomplished and special problems or delays experienced on the Project during the previous report period, and the planned work activities and special problems or delays anticipated for the next report period.

Article VI Insurance, Indemnification and Liability

6.1 Insurance.

(a) Professional shall during the term hereof maintain in full force and effect the following insurance: (i) a commercial liability policy of insurance for bodily injury, death and property damage including the property of the City, its officers, contractors, agents and employees (collectively referred to as the “City”) insuring against all claims, demands or actions relating to the work and services provided by the Professional pursuant to this Agreement with a minimum combined single limit of not less than \$2,000,000.00 per occurrence for injury to persons (including death), and for property damage and \$2,000,000.00 aggregate including products and completed operations coverage of \$1,000,000.00. This policy shall be primary to any policy or policies carried by or available to the City; (ii) policy of automobile liability insurance covering any vehicles owned, non-owned and hired and/or operated by Professional, its officers, agents, and employees, and used in the performance of this Agreement with policy limits of not less than \$1,000,000.00 combined single limit for bodily injury, death and property damage; (iii) statutory Worker’s Compensation Insurance at the statutory limits and Employers Liability covering all of Professional’s employees involved in the provision of services under this Agreement with policy limit of not less than \$1,000,000.00; and (iv) Professional Liability with policy limit of not less than \$2,000,000.00 per claim and \$2,000,000.00 in the aggregate, covering negligent acts, errors and omissions by Professional, its contractors, sub-contractors, consultants and employees in the performance of services pursuant to this Agreement.

(b) All insurance shall be endorsed to provide the following provisions: (1) name the City, its council, officers, and employees as additional insureds as to all applicable coverage with the exception of Workers Compensation Insurance and Professional Liability; (2) provide for a waiver

of subrogation against the City for injuries, including death, property damage, or any other loss to the extent the same is covered by the proceeds of insurance, except for Professional Liability Insurance. A specific endorsement needs to be added to all policies, with a copy of the endorsement provided to the City that indicates the insurance company will provide to the City at least a thirty (30) day prior written notice for cancellation, non-renewal, and/or material changes of the policy. In the event the companies providing the required insurance are prohibited by law to provide any such specific endorsements, the Professional shall provide at least thirty (30) days prior written notice to the City of any cancellation, non-renewal and/or material changes to any of the policies of insurance.

(c) All insurance companies providing the required insurance shall be authorized to transact business in Texas and rated at least “A” by AM Best or other equivalent rating service. All policies must be written on a primary basis, non-contributory with any other insurance coverage and/or self-insurance maintained by the City.

(d) A certificate of insurance and copies of policy endorsements evidencing the required insurance shall be submitted to the City prior to commencement of services. On every date of renewal of the required insurance policies, the Professional shall cause a certificate of insurance and policy endorsements to be issued evidencing the required insurance herein and delivered to the City. In addition, the Professional shall, within ten (10) business days after written request, provide the City with certificates of insurance and policy endorsements for the insurance required herein.

6.2 Indemnification. PROFESSIONAL DOES HEREBY COVENANT AND CONTRACT TO WAIVE ANY AND ALL CLAIMS, RELEASE, INDEMNIFY, AND HOLD HARMLESS THE CITY, ITS CITY COUNCIL, OFFICERS, EMPLOYEES, AND AGENTS, FROM AND AGAINST ALL LIABILITY, CAUSES OF ACTION, CITATIONS, CLAIMS, COSTS, DAMAGES, DEMANDS, EXPENSES, FINES, JUDGMENTS, LOSSES, PENALTIES OR SUITS, TO THE EXTENT CAUSED BY OR RESULTING FROM THE NEGLIGENCE, INTENTIONAL TORT, INTELLECTUAL PROPERTY INFRINGEMENT, OR FAILURE TO PAY A SUBCONTRACTOR OR SUPPLIER COMMITTED BY THE PROFESSIONAL, ITS CONSULTANTS AND CONTRACTORS UNDER CONTRACT, OR ANY OTHER ENTITY OVER WHICH THE PROFESSIONAL EXERCISES CONTROL. INDEMNIFIED ITEMS SHALL INCLUDE REASONABLE ATTORNEYS’ FEES AND COSTS, COURT COSTS, AND SETTLEMENT COSTS IN PROPORTION TO THE PROFESSIONAL’S LIABILITY. THE PROFESSIONAL’S OBLIGATIONS UNDER THIS SECTION SHALL NOT BE LIMITED TO THE LIMITS OF COVERAGE OF INSURANCE MAINTAINED OR REQUIRED TO BE MAINTAINED BY PROFESSIONAL UNDER THIS AGREEMENT. THIS PROVISION SHALL SURVIVE THE TERMINATION OF THIS AGREEMENT.

6.3 Liability Limitation Prohibition. THERE IS NO LIMITATION OF PROFESSIONAL’S LIABILITY AND NONE WILL BE ACKNOWLEDGED, AGREED TO OR OTHERWISE RECOGNIZED IN CONNECTION WITH THIS AGREEMENT OR ANY SERVICES PROVIDED BY PROFESSIONAL, REGARDLESS OF ANY TERM OR PROVISION CONTAINED WITHIN ANY OTHER DOCUMENT THAT MAY FORM A PART OF THE AGREEMENT BETWEEN THE CITY AND PROFESSIONAL. NO RESPONSE TO CITY’S

REQUEST FOR QUALIFICATIONS, ANY INVOICE, STATEMENT OR OTHER DOCUMENT MAY VARY THIS REQUIREMENT.

Article VII Miscellaneous

7.1 Ownership of Instruments of Service. All documents including but not limited to reports, drawings and specifications, provided or furnished by Professional pursuant to this Agreement are instruments of service in respect to the Project, whether or not the Project is completed, and shall be the property of the City. The City shall have, keep and retain all rights, title and interest in and to all Instruments of Service, including all ownership, common law, statutory, and other reserved rights, including copyrights, in and to all Instruments of Service, whether in draft form or final form, which are produced at its request and in furtherance of this Agreement. The Professional shall endeavor to omit any information in the Instruments of Service which may constitute trade secrets. If any portion of the documents comprising the Instruments of Service have been previously copyrighted or otherwise protected from disclosure or unauthorized use by the Professional which have previously been prepared by the Professional and which are not created for the sole and specific purpose of this Project, such copyright protections or reservations of rights shall be expressly stated thereon. When such documents are in electronic form, the City shall own copies of data files, text, specifications or drawings for the City's information in its use of the Services. However, due to the potential that electronic information can be modified by the City or other persons, unintentionally or otherwise, Professional reserves the right to remove all indicia of its ownership and/or involvement from each electronic display or file. For documentation purposes, the original computer files will be retained by Professional for a period not to exceed five (5) years after completion of the Services. Thereafter, all such files shall be remitted to the City. In addition, electronic information created and produced by Professional is considered a part of Professional's instrument of service and will not be used by the City on other Services, for additions to this Service, or for completion of this Service by another design professional except by agreement or Professional's default. Any such use or reuse of any instrument of service by the City or others without written verification or data adaptation by Professional for the specific purpose intended will be at the City's sole risk and without liability or legal exposure to Professional.

7.2 Viruses and Malware. Professional's indemnity obligations under this Agreement extend to its failure to implement and maintain reasonable measures and precautions to protect the City and the City's facilities from data breaches and the introduction into the City's computer network of any programs, mechanisms, programming devices, malware or other computer code (i) designed to disrupt, disable, harm, or otherwise impede in any manner the operation of any software program or code, or any computer system or network (commonly referred to as "malware", "spyware", "viruses" or "worms"); (ii) that would disable or impair the operation thereof or of any software, computer system or network in any way based on the elapsing of a period of time or the advancement to a particular date or other numeral (referred to as "time bombs", "time locks", or "drop dead" devices); (iii) is designed to or could reasonably be used to permit a party or any third party to access any computer system or network (referred to as "trojans", "traps", "access codes" or "trap door" devices); or (iv) is designed to or could reasonably be used to permit a party or any third party to track, monitor or otherwise report the operation and use of

any software program or any computer system or network by the other party or any of its customers. The Professional will hold harmless, indemnify and defend the City from and against data breaches and malware, ransomware, viruses or other electronic software, routines, programs, codes or devices that may damage or impair the City's computer facilities arising from the Professional's performance under this Agreement.

7.3 Entire Agreement. This Agreement constitutes the sole and only agreement between the Parties and supersedes any prior understandings written or oral agreements between the Parties with respect to this subject matter.

7.4 Assignment. The Professional may not assign this Agreement without the prior written consent of City. In the event of an assignment by the Professional to which the City has consented, the assignee shall agree in writing with the City to personally assume, perform, and be bound by all the covenants, and obligations contained in this Agreement.

7.5 Successors and Assigns. Subject to the provisions regarding assignment, this Agreement shall be binding on and inure to the benefit of the Parties to it and their respective heirs, executors, administrators, legal representatives, successors, and assigns.

7.6 Governing Law. The laws of the State of Texas shall govern this Agreement without regard to any conflict of law rules; and venue for any action concerning this Agreement shall be in the State District Court of Dallas County, Texas. The Parties agree to submit to the personal and subject matter jurisdiction of said court.

7.7 Amendments. This Agreement may be amended by the mutual written agreement of the Parties.

7.8 Severability. In the event any one or more of the provisions contained in this Agreement shall for any reason be held to be invalid, illegal, or unenforceable in any respect, such invalidity, illegality, or unenforceability shall not affect any other provisions, and the Agreement shall be construed as if such invalid, illegal, or unenforceable provision had never been contained in it.

7.9 Independent Contractor. It is understood and agreed by and between the Parties that the Professional, in satisfying the conditions of this Agreement, is acting independently, and that the City assumes no responsibility or liabilities to any third party in connection with these actions. All services to be performed by Professional pursuant to this Agreement shall be in the capacity of an independent contractor, and not as an agent or employee of the City. Professional shall supervise the performance of its services and shall be entitled to control the manner and means by which its services are to be performed, subject to the terms of this Agreement.

7.10 Right-of-Access. The Professional shall not enter onto private property without lawful right-of-access to perform required surveys, or other necessary investigations. The Professional will take reasonable precautions to minimize damage to the private and public property in the performance of such surveys and investigations. Any right-of-access to public or private property shall be obtained in accordance with the Scope of Services.

7.11 Notice. Any notice required or permitted to be delivered hereunder may be sent by first class mail, courier or by confirmed telefax or facsimile to the address specified below, or to such other Party or address as either Party may designate in writing, and shall be deemed received three (3) days after delivery or on the day actually received if sent by courier or otherwise hand delivered:

If intended for City, to:

Attn: City Manager
City of Glenn Heights, Texas
1938-C S. Hampton Road
Glenn Heights, Texas 75154

With a copy to:

David M. Berman
Nichols, Jackson, Dillard,
Hager & Smith, L.L.P.
1800 Ross Tower
500 North Akard Street
Dallas, Texas 75201

If intended for Professional:

Andrew Mata Jr., P.E.
Alternate Managing Partner
Birkhoff, Hendricks & Carter, L.L.P.
11910 Greenville Avenue, Suite 600
Dallas, Texas 75243

7.12 Debarment and Suspension.

- (a) In accordance with 2 CFR section 180.300, Professional verifies that Professional and its principals under this Agreement as described in 2 CFR section 180.995 being duly sworn or under penalty of perjury under the laws of the United States, that neither Professional nor its principals are presently debarred, suspended, proposed for debarment, declared ineligible or voluntarily excluded from participation in this transaction by any federal department or agency, the State of Texas, or any of its departments or agencies.
- (b) If, during the term of this Agreement, Professional becomes debarred, suspended, proposed for debarment, declared ineligible or voluntarily excluded from participation, Professional shall immediately inform the City.
- (c) For agreements that are financed by Federal or State grants, Professional agrees that this section will be enforced on each of its subcontractors and will inform the City of any violations of this section by subcontractors to the Agreement.
- (d) The certification in this section is a material representation of fact relied upon by the City in entering into this Agreement.

7.13 Counterparts. This Agreement may be executed by the Parties hereto in separate counterparts, each of which when so executed and delivered shall be an original, but all such counterparts shall together constitute one and the same instrument. Each counterpart may consist of any number of copies hereof each signed by less than all, but together signed by all of the Parties hereto.

7.14 Exhibits. The exhibits attached hereto are incorporated herein and made a part hereof for all purposes.

7.15 Boycott Israel; Boycott Energy Companies; and Prohibition of Discrimination against Firearm Entities and Firearm Trade Associations.

- (a) Professional verifies that it does not Boycott Israel and agrees that during the term of the Agreement will not Boycott Israel as that term is defined in Texas Government Code Section 808.001, as amended.
- (b) Professional verifies that it does not Boycott Energy Companies and agrees that during the term of this Agreement will not Boycott Energy Companies as that term is defined in Texas Government Code Section 809.001, as amended.
- (c) Professional verifies that it does not have a practice, policy, guidance, or directive that discriminates against a firearm entity or firearm trade association as those terms are defined in Texas Government Code Section 2274.001, as amended; and (ii) will not discriminate during the term of this Agreement against a firearm entity or firearm trade association.
- (d) This section does not apply if Professional is a sole proprietor, a non-profit entity, or a governmental entity; and only applies if: (i) Professional has ten (10) or more fulltime employees and (ii) this Agreement has a value of \$100,000.00 or more to be paid under the terms of this Agreement.

(Signature Page to Follow)

EXECUTED this _____ day of _____, 2025.

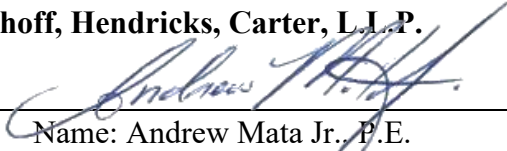
CITY OF GLENN HEIGHTS, TEXAS

By: _____
City Manager

EXECUTED this 2nd day of June, 2025.

Professional

Birkhoff, Hendricks, Carter, L.L.P.

By:  _____
Name: Andrew Mata Jr., P.E.
Title: Alternate Managing Partner

**EXHIBITS
SCOPE OF SERVICES**

EXHIBIT "A"

ENGINEERING SERVICES

Cinnamon Springs Waterline Replacement

PROJECT DESCRIPTION:

This project consists of the preparation of construction plans and specifications for the City of Glenn Heights Cinnamon Springs Waterline Replacement project, which includes the construction of approximately 6,010 linear feet of 8-inch waterline within street Right-of-Way (approximately 1,330 linear feet along Cinnamon Springs Street, 3,560 linear feet along Lake Ridge Drive, and 1,120 linear feet along Cripple Creek Road). A general location map of the project limits is shown below.

Location Map



EXHIBITS
SCOPE OF SERVICES

I. Basic Services

1. Design Phase

- A. Meet with City staff discuss the existing field conditions and set the proposed waterline alignments and limits within street ROW, along Cinnamon Springs Street, Lake Ridge Drive, and Cripple Creek Road.
- B. Prepare waterline plans based on City approved alignment.
- C. Establish preliminary horizontal alignments.
- D. Establish preliminary vertical alignments.
- E. Locate utility crossings and nearby adjacent utilities, and other nearby improvements as identified from field surveys, subsurface utility investigation, information provided by utility companies, and the City's record drawings.
- F. Identify utilities such as Water, Gas, Telephone, Cable TV, and Electric in preliminary plans and identify which utilities must be protected or relocated.
- G. Prepare Coordinate Control Plans with benchmarks.
- H. Prepare preliminary outline of specifications. Specifications will utilize NCTCOG Standard Specifications for the work to be completed by a contractor.
- I. Prepare standard details for this project.
- J. Submit preliminary plans and specifications in electronic .PDF format to the City for review.
- K. Meet with the City to discuss preliminary plans and specifications.
- L. Revise preliminary plans incorporating comments from the City.
- M. Finalize construction plans and specifications.
- N. Design appurtenances such as special connections, details, etc.
- O. Prepare final quantity take-off and prepare opinion of probable construction cost based on final plans.

EXHIBITS
SCOPE OF SERVICES

- P. Submit final construction plans and specifications in electronic .PDF format.

2. Bidding Phase

- A. Assist City staff in advertising project.
- B. City will be responsible for advertisement of the project in the Local Paper.
- C. Upload a PDF version of the plans and specifications to the project bidding distribution site CivCast. Manage the project for the City on CivCast, which will include setting up project, payment of fees, document upload, and issuing of addendum(s).
- D. Respond to contractor questions, provide design clarifications in addenda format, sealed, signed, and dated.
- E. Attend Bid Opening and assist the City with opening of the bids.
- F. Complete tabulation of bids, checking for mathematical errors and unbalanced bids. Provide bid tabulation, in PDF format, to City and Contractors who submitted bids.
- G. Return original bid documents to the City.
- H. Obtain experience record, references, and physical resource to produce work from the apparent lowest bidder. Check references of apparent low bidder.
- I. Formulate opinion from information received and provide a letter of recommendation to the City for award of a construction contract.
- J. After award of the contract by the City, Return Bid Bonds to their respective bidders.

3. Construction Phase

- A. Prepare Construction Contracts for execution by City and Contractor.
- B. Print five (5) plans and specifications sets to distribute three (3) to the Contractor and two (2) to the City.
- C. Attend the Pre-Construction Conference, including preparing an agenda.

EXHIBITS
SCOPE OF SERVICES

- D. Attend coordination meetings with contractor, any quality control personnel, and City representatives as required to discuss strategy, problem areas, progress, and other coordination matters (four meetings are included).
- E. Review shop drawings and other submittal information which the Contractor submits. This review is for the benefit of the Owner and covers only general conformance with information given by the Contract Documents. The contractor is to review and stamp their approval on submittals prior to submitting them to the Engineer. Review by the Engineer does not relieve the Contractor of any responsibilities, safety measures or the necessity to construct a complete and workable facility in accordance with the Contract Documents. Review of shop drawings will be completed by review of electronic PDF files provided by the Contractor.
- F. Provide written responses to requests for information or clarification to City or Contractor.
- G. Prepare and process routine change orders for this project as they pertain to the original scope of work.
- H. Prepare monthly pay request from information obtained from Contractor and/or City Inspector, if requested by the City.
- I. Accompany the City during their final inspection of the project.
- J. Recommend final acceptance of work based on information from the on-site representative.

II. Additional Services

The following scope items defined as additional services are those anticipated to be necessary to facilitate design of the project. These services will be performed on an as-needed basis and invoiced based on effort and expenses incurred.

- 4. Design Survey. Perform field topographic survey along the proposed project limits. Locate topographic features including fences, lead walks, exposed sprinkler heads, property corners (if available), trees, power poles, driveways, water meters, inlets, and other features within the properties. Attempt to locate

EXHIBITS
SCOPE OF SERVICES

two to three property corners to locate ROW and property base file. Contact DIGTESS prior to survey and request locates for utilities. Survey paint marks and flags that are set as a result of the request to DIGTESS.

5. Level A Subsurface Utility Exploration (SUE). Provide quality Level A SUE for known gas, water and other franchise utilities as project requirements dictate. A budget for five (5) SUE locates is included. Level A SUE will identify the horizontal location and depth of existing utilities. The SUE services will be performed utilizing Solaray of Irving, Texas.
6. Record Drawings. Prepare Record Drawings utilizing on-site representative and Contractor construction record information from the as-built plant. Provide the record drawing plans in electronic .PDF format.
7. Miscellaneous. Miscellaneous expenses such as printing and mileage. Printing hard copy preliminary plans, final plans, and specifications for distribution to prospective bidders and the successful contractor. Mileage will be charged at the established IRS rate.

III. Terms and Conditions For Electronic File Transfers

Electronic files are transmitted on the terms and conditions below:

By opening, accessing, copying or otherwise using the transmitted electronic files, these terms and conditions are accepted by the user.

- A. The electronic files are compatible with the following software packages operating on a PC using Windows operating systems:
 - Autocad Civil 3D
 - Innovyse InfoWater Pro 3.0 with ESRI Arc Pro 2.7
 - Innovyze InfoSewer Pro 7.6 with ESRI Arc Map 10.5
 - MS Office 365
 - Bluebeam Revu (PDF) Ver 10 - Ver 2020

EXHIBITS
SCOPE OF SERVICES

- B. Birkhoff, Hendricks & Carter, L.L.P. does not make any warranty as to the compatibility of these files beyond the specified release of the above stated software.
- C. Because data stored on electronic media can deteriorate undetected or be modified, Birkhoff, Hendricks & Carter, L.L.P. will not be held liable for completeness or correctness of electronic media.
- D. The electronic files are instruments of our service. Where there is a conflict between the hard copy drawings and the electronic files, Birkhoff, Hendricks & Carter, L.L.P.'s hard copy file will govern in all cases.
- E. Electronic files may only be modified in accordance with the Texas Engineering Practice Act for modifying another Engineer's design.

IV. Exclusions

The intent of this scope of services is to include only the services specifically listed herein and no others. Services specifically excluded from this scope of services include, but are not necessarily limited to the following:

- A. Certification that work is in accordance with plans and specifications.
- B. Consulting services by others not included in Scope of Services.
- C. Easement Acquisitions
- D. Contractor's means and methods.
- E. Environmental cleanup.
- F. Environmental impact statements and assessments.
- G. Fees for permits.
- H. Fees for publicly advertising the construction project.
- I. Fiduciary responsibility to the Client.

EXHIBITS
SCOPE OF SERVICES

- J. On-site construction safety precautions, programs and responsibility (Contractor's responsibility).
- K. Phasing of Contractor's work.
- L. Preliminary engineering report.
- M. Quality control and testing services during construction.
- N. Revisions and/or change orders as a result of revisions after completion of original design (unless to correct error on plans).
- O. Services in connection with condemnation hearings.
- P. Title searches.
- Q. Trench safety designs.

**EXHIBITS
SCOPE OF SERVICES**

EXHIBIT “B”

COMPLETION SCHEDULE

Notice to Proceed	June 24, 2025
Begin Field Surveys	June 27, 2025
Complete Field Surveys	July 18, 2025
Submit Preliminary Plans to City for Review	October 17, 2025
Receive Review Comments from City	October 31, 2025
Complete Final Plans	December 19, 2025
Advertise Project	January 2026
Receive Bid	January 2026
Award Contract	February 2026
Construction	March 2026 thru August 2026

**EXHIBITS
SCOPE OF SERVICES**

EXHIBIT "C"

PAYMENT SCHEDULE

The following is the Compensation Schedule for Engineering Services under Exhibit A.

<u>Task</u>		<u>Fee Amount</u>
<u>BASIC SERVICES</u>		
Compensation for Basic Services described under Section I, Tasks 1-3 shall be based on a Lump Sum Basis in the following amounts.		
1	Design Phase	\$125,700.00
2	Bidding Phase	\$4,000.00
3	Construction Administration Phase	\$28,500.00
Basic Services Subtotal:		\$158,200.00
Compensation for Additional Services under Section II, Tasks 4-6 shall be on an hourly basis of salary cost times a multiplier of 2.49 for time expended on the task. Field survey crew shall be based on \$195.00 per hour, inclusive of all equipment rentals and software licensing; plus, mileage charge at the IRS established rate. Expenses shall be at invoice cost times a multiplier of 1.15.		
<u>ADDITIONAL SERVICES</u>		
4	Design Survey	\$27,100.00
5	Level A Subsurface Utility Exploration (SUE)	\$27,600.00
6	Record Drawings	\$2,000.00
7	Miscellaneous Expenses	\$1,500.00
Additional Services Subtotal:		\$58,200.00
Total Not To Exceed Amount:		\$216,400.00

The maximum overall fee established herein shall not be exceeded without written authorization from the City, based on increased scope of services. Payment invoices are to be made and emailed monthly based on the percent complete of the design or construction phase for the Basic Services and based on the actual hourly expenditures for the Additional Services. Payment is due within 30 days of receipt of invoice.



Best Southwest Partnership
 300 E. Wheatland Rd
 Duncanville, TX 75116

BEST SOUTHWEST PARTNERSHIP director@bestsouthwest.org
Where Growth and Opportunity Meet

Invoice

Invoice Date: 6/23/2025
 Invoice Number: 714

City of Glenn Heights
 Sonja Brown
 1938 S Hampton Road
 Glenn Heights, TX 75154

The Best Southwest Partnership may use 0% of this sponsorship for state lobbying and 0% for federal lobbying.

Terms	Due Date
1% 10 Net 30	7/23/2025

Description	Quantity	Rate	Amount
BSWP TGIF Breakfast Series (Sonja Brown, Additional Attendee, Additional Attendee, Additional Attendee, Additional Attendee, Additional Attendee, Additional Attendee)	1	\$3,000.00	\$3,000.00
Subtotal:			\$3,000.00
Tax:			\$0.00
Total:			\$3,000.00
Payment/Credit Applied:			\$0.00
Balance:			\$3,000.00

Login to your Member Center to pay online.

- Go to <http://bestsouthwesttx.memberzone.com/login> to login or retrieve forgotten login credentials.
 Or create your login account for the first time at this registration page:
<https://bestsouthwesttx.memberzone.com/CreateAccount?ccid=9555&email=sonja.brown@glennheightstx.gov&repID=251>.
- Pay online, check out your additional Member Benefits, update your member page and contact information.

Thank you for your support of the **Best Southwest Partnership**

Please return this portion with your payment.

Member Name: City of Glenn Heights

Payment Amount: \$ _____

Payment Method: Check # _____ Credit Card

Make all checks payable to **Best Southwest Partnership** or enter credit card information below.

Enter Credit Card Billing Address (inc. zip code)

Address _____

City/State/Zip _____

Credit Card #: _____ Exp. Date: _____ CVV Code (3 or 4 digits on back of card) _____

Name on Card: _____ Signature: _____

Inv



CITY OF GLENN HEIGHTS CITY COUNCIL REPORT

Date: July 15, 2025

SUBJECT

Discuss and take action on a request concerning a Site Plan for Holy House of Prayer Church, submitted by Oscar Galan with Classic Design Group. The 1.1636-acre property is zoned Neighborhood Services (NS) and is located in Heritage Estates, Block F, at the northwest corner of West Bear Creek Road and Heritage Boulevard, Glenn Heights, Dallas County, Texas.

DISCUSSION / BACKGROUND

This Site Plan was previously approved in 2023. However, due to financial constraints, the church has requested the removal of the masonry wall requirement, which is not enforceable for religious facilities.

The applicant proposes to develop a church at 405 W. Bear Creek Road, located at the corner of W. Bear Creek Road and Heritage Boulevard. The surrounding land use is single-family residential. The proposed Site Plan includes access from Heritage Boulevard and one entrance from W. Bear Creek Road.

A new 5,000-square-foot church building for "The Holy House of Prayer" will be constructed on the 1.163-acre site. The main entrance doors will face West Bear Creek Road.

The site will include a driveway entrance on West Bear Creek Road and another on Heritage Boulevard, along with the required landscaping per City Ordinance. Additional landscaping will be installed at the front of the building near the main entrance to enhance curb appeal. The site will also include concrete sidewalks and a parking lot. All plantings will conform to the City's Landscape Ordinance, and all landscaped areas will be equipped with an automatic sprinkler system for proper irrigation. Grass installed in the developed area will comply with the species specified in the City's Landscape

Ordinance. Required landscape buffers will be installed along both street frontages.

A 6-foot-tall masonry screening fence will be installed along the north and west property lines, as required by City Ordinance for residential adjacency.

Parking will be provided based on the number of seats in the sanctuary. The plan proposes 43 parking spaces to accommodate 102 attendees during service times. A monument sign will be located at the southeast corner of the lot near the intersection of the two streets and will comply with the City's Sign Ordinance.

The church will feature a contemporary modern exterior design with finishes that complement the surrounding neighborhood. Exterior materials will include stone (to a specified height), EIFS finishes, and a metal roof. The overall building height will be approximately 20 feet, 6 inches. The color palette will consist of earth tones and light shades.

A cross will be installed on the front façade of the building in place of a traditional steeple. Its size will be proportionate to the building's vertical wall height. All windows and glazing will meet "Low E" compliance standards and feature clear anodized storefront frames.

Mechanical equipment will be screened with materials matching the building's exterior finishes. Any required trash enclosures will be constructed of masonry with metal gates, also matching the building's finishes.

A fire hydrant will be installed along Heritage Boulevard, as required by the City of Glenn Heights Fire Marshal.

PRIOR COUNCIL OR BOARD ACTION

The City Council previously approved this Site Plan .

PUBLIC CONTACT

Not applicable.

FINANCIAL IMPACT

Not applicable.

RECOMMENDATION / ALTERNATIVES

Staff recommends approval of the Site Plan

ATTACHMENTS

1. Presentation - Holy House Church of Prayer
2. Site Plan

PREPARED BY

Parviz Pourazizian, Director of Planning and Development Services

REVIEWED BY

Brandi Brown, City Secretary

HOLY HOUSE OF PRAYER



PARVIZ POURAZIZIAN, DIR. DEVELOPMENT SERVICES

JULY 15, 2025

SITE PLAN AMENDMENT



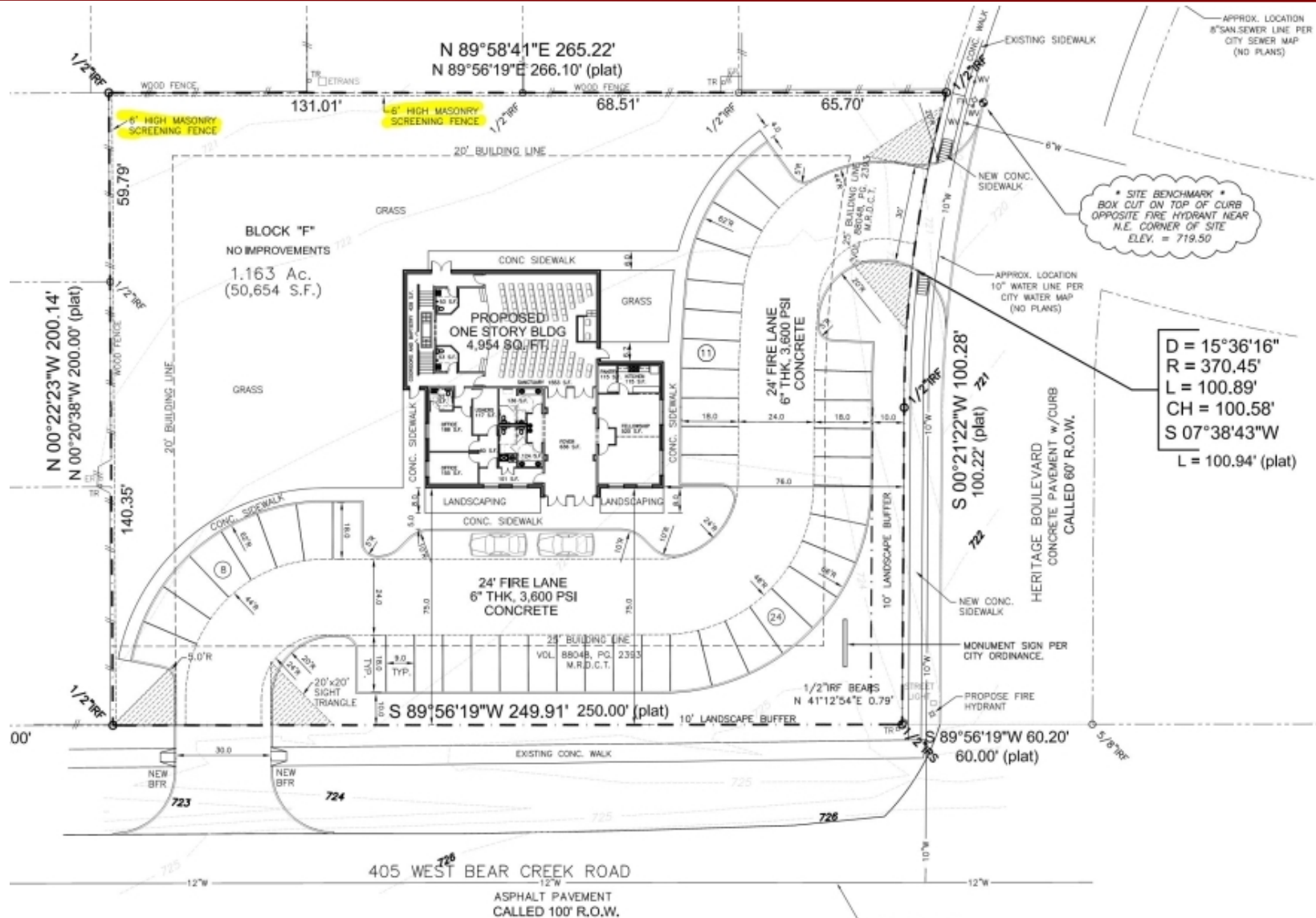
Discussion and take action to approve a Site Plan for Holy House Of Prayer Church by Oscar Galan with Classic Design Group. The 1.1636- acre property is zoned Neighborhood Services “NS” and is situated in the Heritage Estates Block F. The property is located at the northwest corner of West Bear Creek and Heritage Blvd, Glenn Heights, Dallas County, Texas also known as 405 W Bear Creek Rd. The proposed use is Church.

SITE PLAN

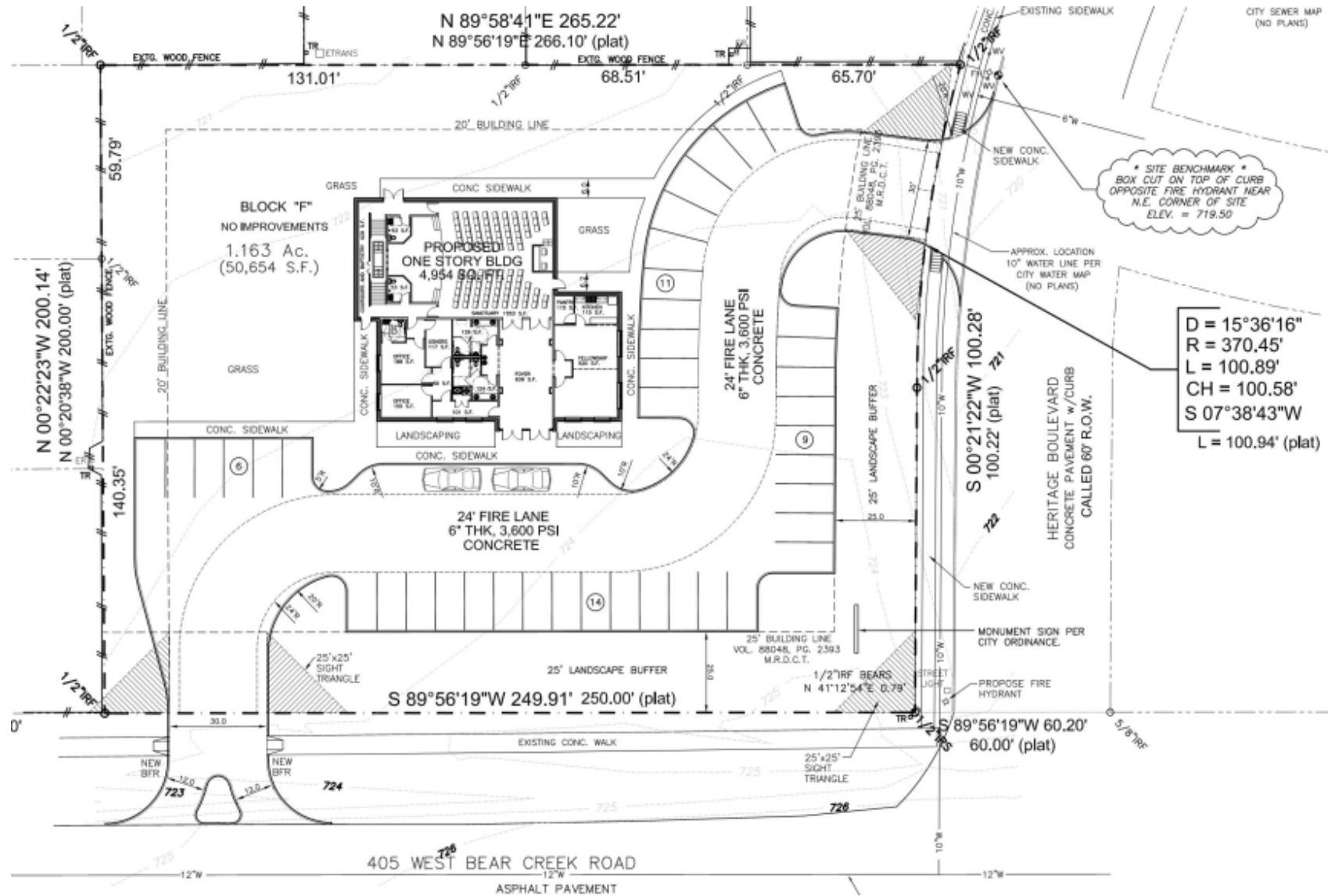


Applicant:	Oscar Galan, on behalf of the Holy House of Prayer
Location:	Northwest Corner of W Bear Creek Rd and Heritage Blvd
Request:	Request for site plan approval
Acres:	1.163 Ac.
Zoning:	Neighborhood Services (NS)

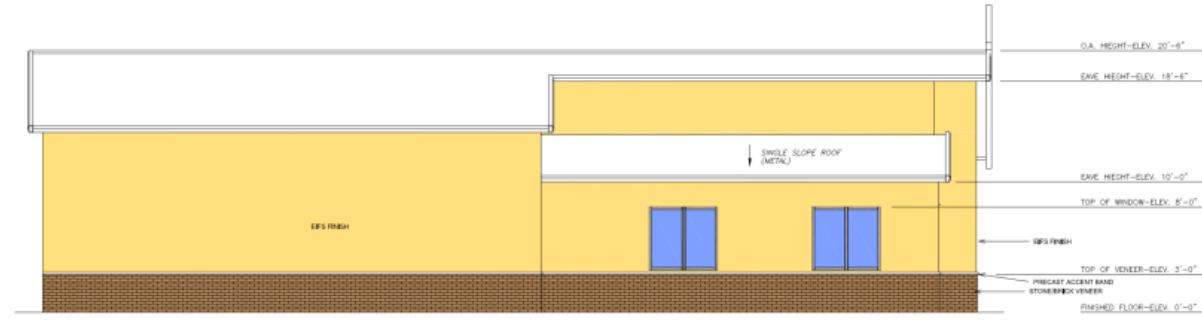
APPROVED SITE PLAN



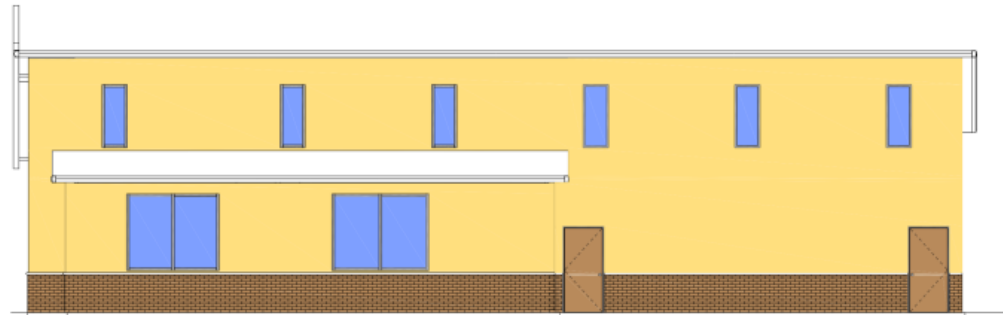
REVISED SITE PLAN



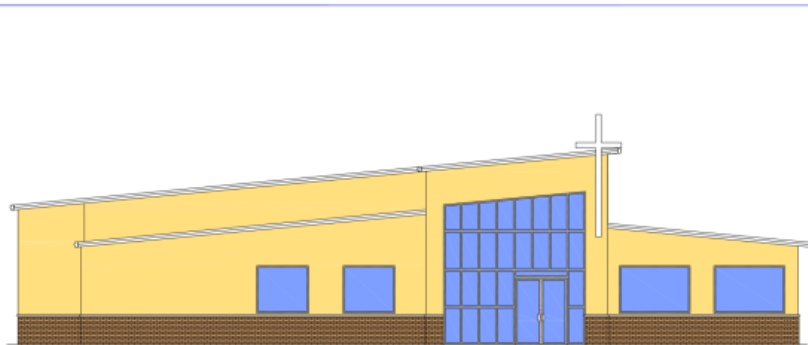
ELEVATIONS



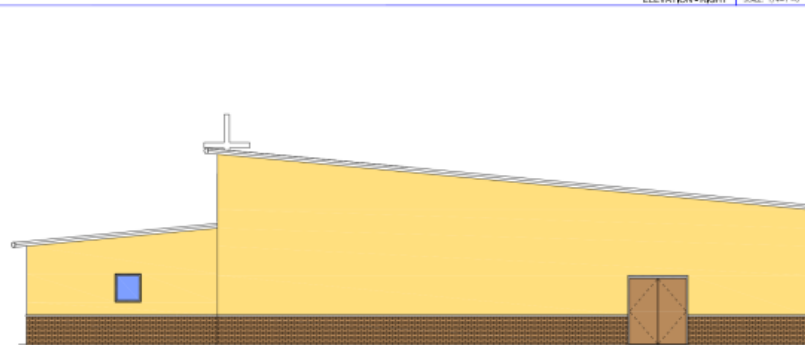
ELEVATION—LEFT | SCALE: 1/4"=1'-0" | 01



ELEVATION—RIGHT | SCALE: 1/4"=1'-0" | 02

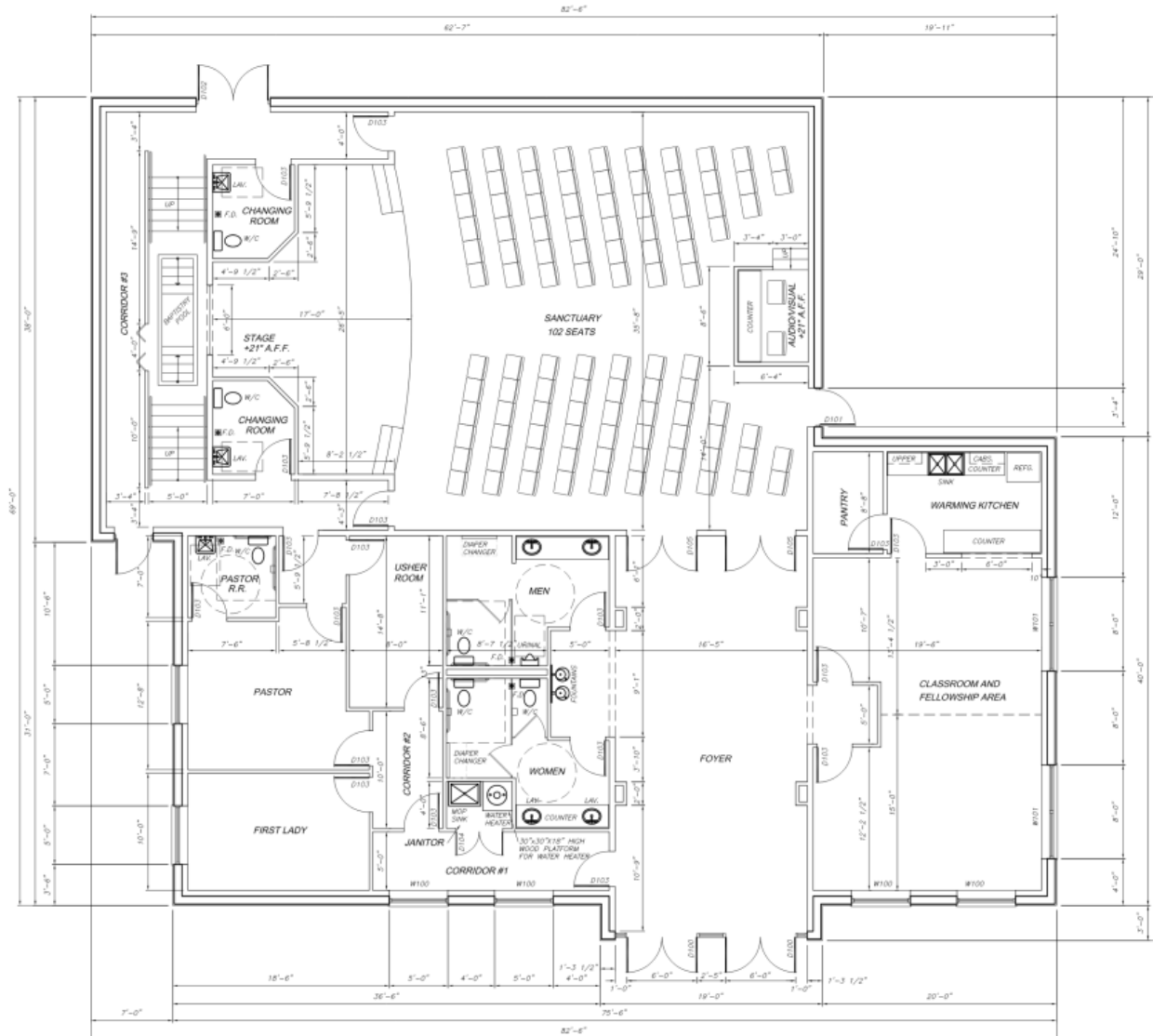


ELEVATION—FRONT | SCALE: 3/16"=1'-0" | 04



ELEVATION—REAR | SCALE: 3/16"=1'-0" | 03

FLOOR PLAN



RECOMMENDATION



- ❑ Staff recommends approval of the site plan the “Holy House of Prayer” Church located at the NW corner of W Bear Creek Rd and Heritage Blvd with following recommendations:
- ❖ Increase the Landscape buffer to 25’ along W Bear Creek Rd to consider future road expansion.
- ❖ W Bear Creek is a major road, so we recommend a “Right-in, Right-out” island with raised mountable median in that driveway. (Or some may refer to it as “Pork Chop”)
- ❖ Per our Ordinance, the Visibility Triangle is 25’ X 25’. Please ensure your site plan clearly shows it at the intersection and driveway, and your monument sign can not encroach on that nor parking spots.

QUESTIONS



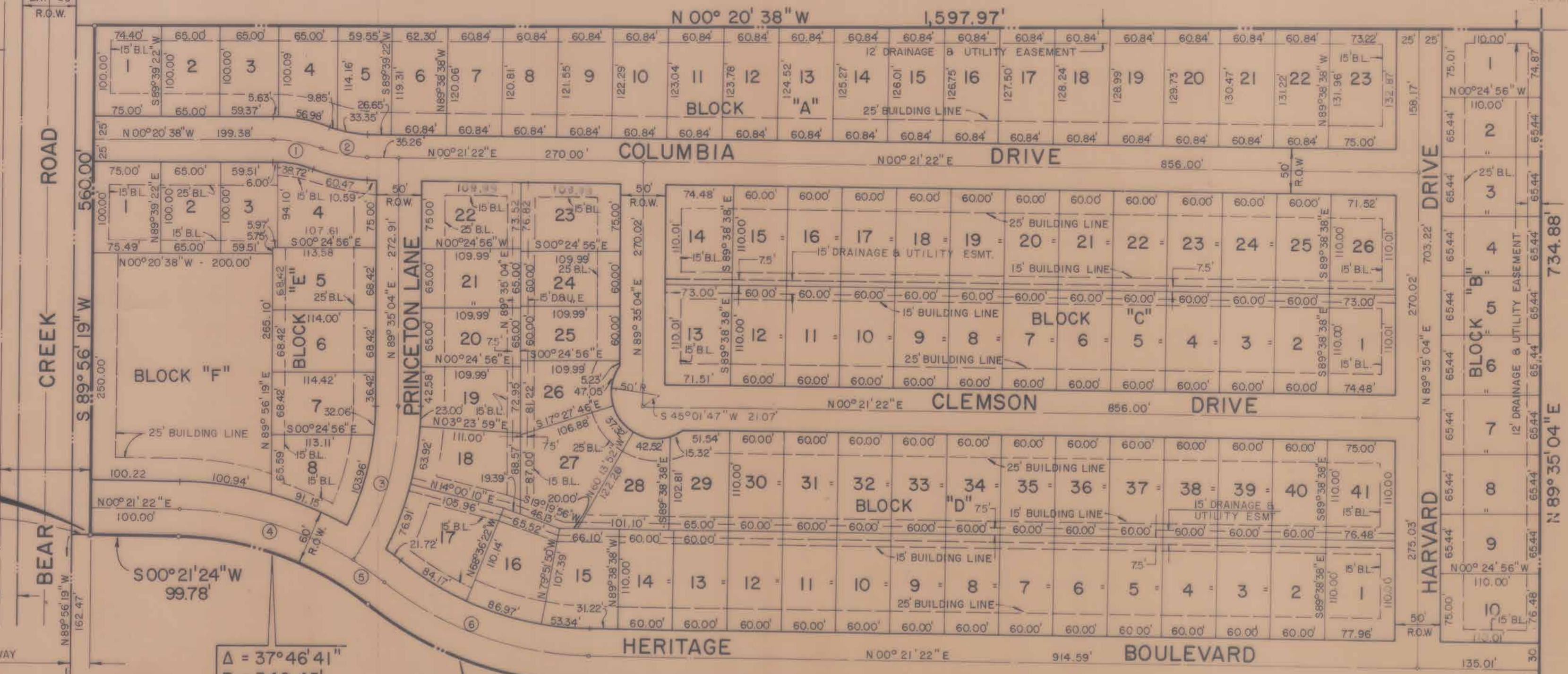
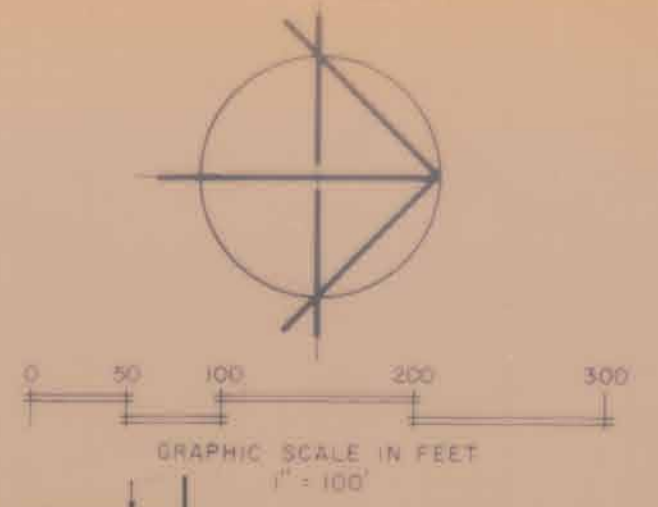
COMMENTS

OWNER:
M. R. YOUNG

OWNER:
BRANCH
Vol. 7720, Pg. 2015

OWNER:
EVELYN M.
NABHOLTZ

OWNER:
YANG
Vol. 85099, Pg. 3377



$\Delta = 37^{\circ}46'41''$
 $R = 340.45'$
 $T = 116.49'$
 $L = 224.47'$
 $CB = S 19^{\circ}14'42'' W$
 $CL = 220.43'$

$\Delta = 37^{\circ}46'40''$
 $R = 400.45'$
 $T = 137.02'$
 $L = 264.03'$
 $CB = S 19^{\circ}14'42'' W$
 $CL = 259.28'$

FIELD NOTES

BEING a tract of land situated in the Elisha Chambers Survey, Abstract No. 240, and being a portion of that same tract of land conveyed to W. S. Carter and Eugene Glass as recorded in Volume 191, Page 0967, Deed Records, Dallas County, Texas, and being more particularly described as follows:

COMMENCING at a 60d nail in a fence post at the intersection of the common line of said Glass tract and a called 4.9 acre tract conveyed to Lillian Rose Cox, dated May 13, 1954, Deed Records, Dallas County, Texas, and Bear Creek Road (a 60-foot ROW), said point being westerly 1,335.6 feet from the centerline of Hampton Road;

- THENCE N 89°30'21" W, 592.77 feet with the north line of Bear Creek Road to a found 1-inch iron rod;
- THENCE S 89°56'19" W, 162.47 feet with the north line of Bear Creek Road to a point;
- THENCE N 00°21'24" E, 20.00 feet to an iron rod for corner, said iron rod being the Point of Beginning of the herein described tract, said iron rod being on the proposed 20-foot right-of-way dedication;
- THENCE S 89°56'19" W, 560.00 feet with said proposed dedication to an iron rod for corner;
- THENCE N 00°20'38" W, 1,597.97 feet to a found iron rod for corner;
- THENCE N 89°35'04" E, 734.88 feet to an iron rod for corner;
- THENCE S 00°21'22" W, 1,050.01 feet to an iron rod for corner, said iron rod being the beginning of a curve to the right, having a central angle of 37°46'40", a radius of 400.45 feet, a tangent length of 137.02 feet, and whose long chord has a bearing of S 19°14'42" W, and a distance of 259.28 feet;
- THENCE along said curve an arc length of 264.03 feet to an iron rod for corner, said iron rod being the beginning of a reverse curve having a central angle of 37°46'41", a radius of 340.45 feet, a tangent length of 116.49 feet, and whose long chord has a bearing of S 19°14'42" W, and a distance of 220.43 feet;
- THENCE along said curve an arc length of 224.47 feet to an iron rod for corner;
- THENCE S 00°21'24" W, 99.78 feet to the POINT OF BEGINNING and containing 25.4978 acres (1,110,685 square feet) of land.

CHING FENG TAN
Vol. 85014, Pg. 2544

I, John L. Melton, Registered Public Surveyor, do hereby certify that the plat shown hereon accurately represents the property as determined by an on the ground survey made under my direction and supervision, and that all corners are as shown.

There are no encroachments, easements, conflicts, or protrusions apparent on the ground, except as shown.

John L. Melton
John L. Melton, Reg. No. 4268



STATE OF TEXAS:

BEFORE ME, the undersigned authority, a Notary Public in and for said State, on this day personally appeared John L. Melton known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the 29th day of September, 1987.

Carol E. Cameron
Carol E. Cameron
Notary Public in and for said State of Texas



NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT, I, Barry Morgan, do hereby adopt this plat, designating the herein above described real property as Heritage Heights, an addition to the City of Glenn Heights, Dallas County, Texas, and do hereby dedicate the street and easements shown hereon to the public's use forever.

WITNESS MY HAND AT Dallas County, Texas this the ____ day of _____, 1987.

STATE OF TEXAS:

BEFORE ME, the undersigned authority, a Notary Public in and for said State, on this day personally appeared Barry Morgan known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

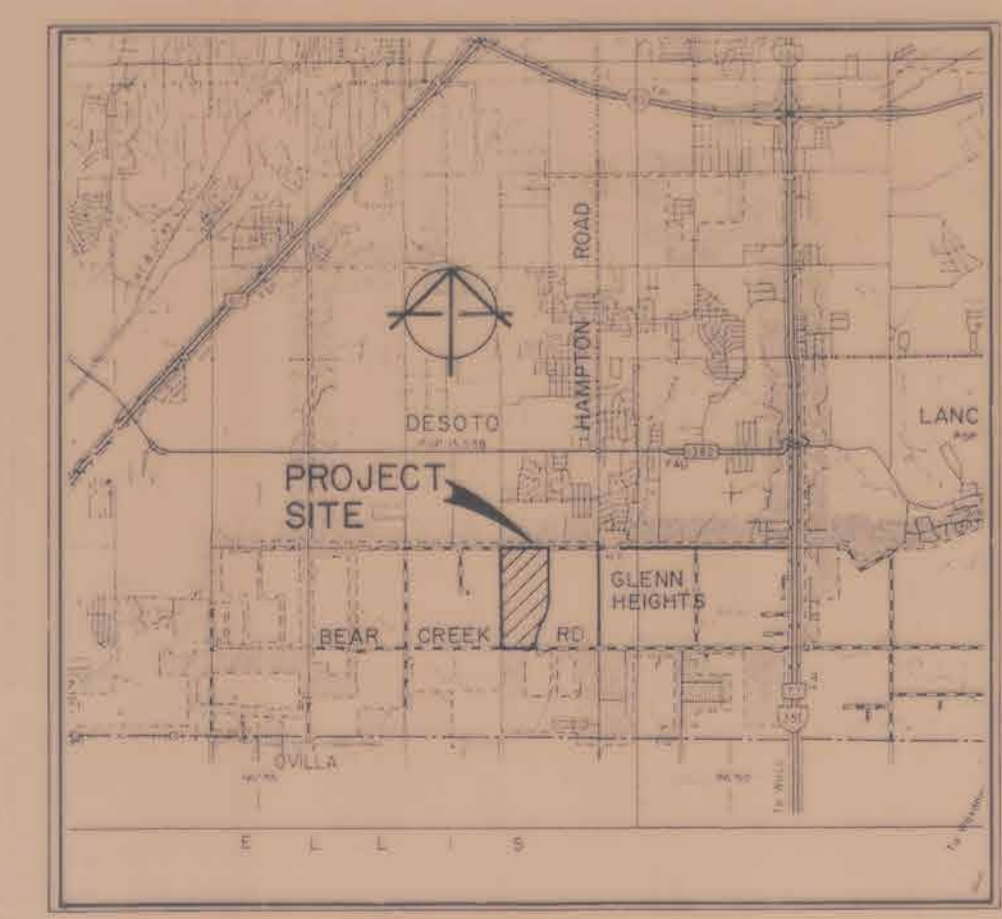
GIVEN UNDER MY HAND AND SEAL OF OFFICE this the ____ day of _____, 1987.

Notary Public in and for said State of Texas

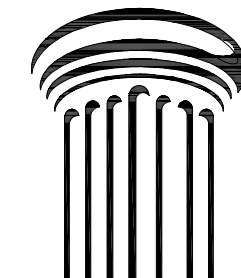
APPROVED BY:
LEE HISE, CITY SECRETARY
CARLA DICKEY
P & Z CHAIRMAN
DATE APPROVED

FINAL PLAT
OF
HERITAGE HEIGHTS
BEING A
25.4978 ACRE TRACT OF LAND
SITUATED IN THE
ELISHA CHAMBERS SURVEY, ABST. NO. 240
IN THE
CITY OF GLENN HEIGHTS, DALLAS COUNTY, TEXAS
PREPARED FOR

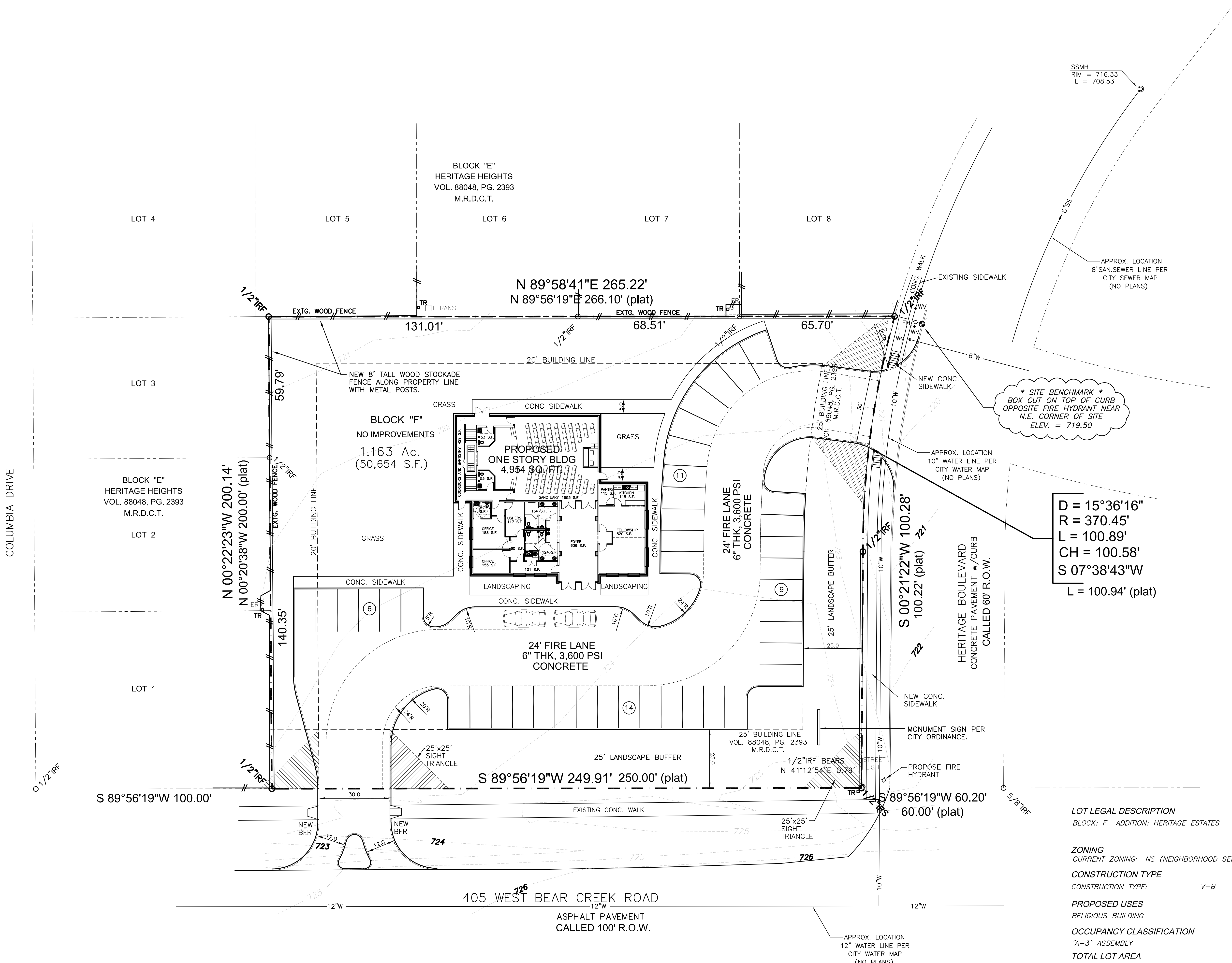
HERITAGE HEIGHTS, INC.
3202 LARK LANE
IRVING TEXAS 75062
BY
WASHINGTON & ASSOCIATES, INC.
ENGINEERS • PLANNERS
500 GRAPEVINE HWY. SUITE 375
HURST, TEXAS 76054
817/485-0707 METRO 498-3077



CURVE DATA		
1 $\Delta = 20^{\circ}29'57''$	2 $\Delta = 19^{\circ}47'57''$	3 $\Delta = 32^{\circ}02'28''$
R = 150.00'	R = 150.00'	R = 320.41'
T = 27.12'	T = 26.18'	T = 92.00'
L = 53.67'	L = 51.83'	L = 179.18'
CL = 53.38'	CL = 51.58'	CL = 176.85'
4 $\Delta = 31^{\circ}16'10''$	5 $\Delta = 06^{\circ}30'30''$	6 $\Delta = 37^{\circ}46'41''$
R = 370.45'	R = 370.45'	R = 370.45'
T = 103.67'	T = 21.06'	T = 126.75'
L = 202.17'	L = 42.08'	L = 244.26'
CL = 199.67'	CL = 42.06'	CL = 239.85'



* PROJECT BENCHMARK *
CITY OF DESOTO CONTROL MONUMENT 3R
BEING A 3-1/4" ALUMINUM CAP STAMPED
"CITY OF DESOTO EST. 2017 3R" SET IN
CONCRETE ON THE SOUTH SIDE OF WEST
BEAR CREEK ROAD AND EAST SIDE OF
SOUTH HAMPTON ROAD NEAR THE WESTERLY
NORTHWEST CORNER OF FAMILY DOLLAR
PARKING LOT.
ELEV. = 680.34



* SITE BENCHMARK *
BOX CUT ON TOP OF CURB
OPPOSITE FIRE HYDRANT NEAR
N.E. CORNER OF SITE
ELEV. = 719.50

D = 15°36'16"
R = 370.45'
L = 100.89'
CH = 100.58'
S 07°38'43"W
L = 100.94' (plat)

BASIS OF BEARINGS: NORTH RIGHT-OF-WAY LINE OF
WEST BEAR CREEK ROAD AS SHOWN ON PLAT RECORDED
IN VOL. 88048, PG. 2393, M.R.D.C.T.

IRF DENOTES IRON ROD FOUND
IRS DENOTES IRON ROD SET
W/ORANGE PLASTIC CAP STAMPED
"R. W. COOMBS RPLS 5294"
C.M. DENOTES CONTROLLING MONUMENT

**BLOCK "F"
HERITAGE ESTATES**
an addition to the City of Glenn Heights,
Dallas County, Texas
according to the Plat recorded in
Volume 88048, Page 2393
Map Records, Dallas County, Texas.

LOT LEGAL DESCRIPTION
BLOCK: F ADDITION: HERITAGE ESTATES

ZONING
CURRENT ZONING: NS (NEIGHBORHOOD SERVICES)

CONSTRUCTION TYPE
CONSTRUCTION TYPE: V-B

PROPOSED USES
RELIGIOUS BUILDING

OCCUPANCY CLASSIFICATION
"A-3" ASSEMBLY

TOTAL LOT AREA
50,654 SQUARE FEET / 1.163 ACRES

TOTAL BUILDING AREA
BUILDING AREA: 4,954 SQUARE FEET

BUILDING HEIGHT REGULATIONS
HEIGHT PROPOSED: ONE STORY
OVERALL HEIGHT PROPOSED: 20'-6" (APPROX)

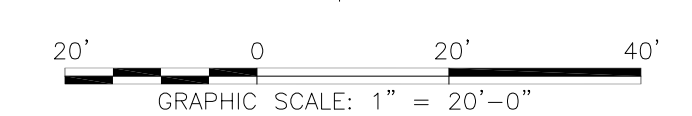
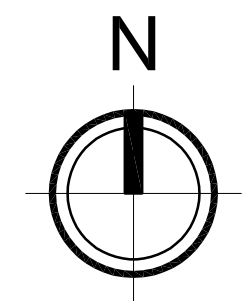
BUILDING SET BACK REGULATIONS
FRONT BUILDING SETBACK: 25' FEET
REAR BUILDING SETBACK: 20' FEET
SIDE BUILDING SETBACK: 20' FEET

OFF STREET PARKING REQUIREMENTS
1 PER 3 SEATS IN MAIN SANCTUARY
TOTAL SEATS IN SANCTUARY: 102

SPACE REQUIRED: 34
SPACE PROVIDED: 40

LOT COVERAGE
TOTAL LOT AREA: 50,654 SQ. FT.
BUILDING: 4,954 SQ. FT.
TOTAL IMPERVIOUS: 4,954 SQ. FT.
LOT COVERAGE: 10 PERCENT

01 SITE PLAN
SCALE: 1"=20'-0"



REVISION	DATE	DESCRIPTION

THE HOLY HOUSE OF PRAYER
405 WEST BEAR CREEK ROAD
GLENN HEIGHTS, TEXAS 75154

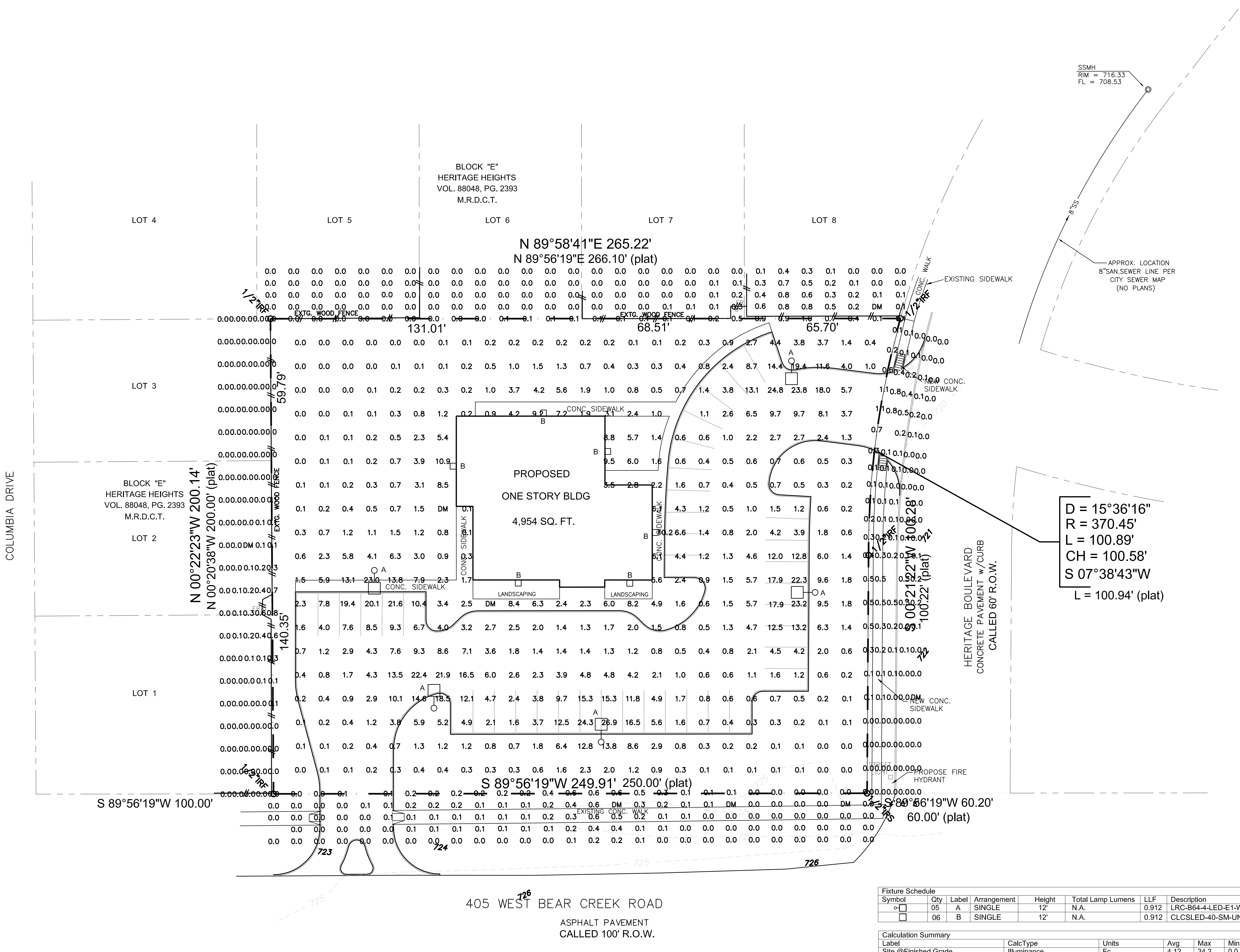
DEVELOPER

GENERAL CONTRACTOR

SHEET NAME
SITE PLAN

DRAWN BY O GALAN
CHECKED BY
SCALE 1"=20'-0"
PROJECT NO.
ISSUE DATE 03 JUNE 25
REVISED DATE
SHEET

A1.0



D = 15°36'16"
R = 370.45'
L = 100.89'
CH = 100.58'
S 07°38'43"W
L = 100.94' (plat)

BASIS OF BEARINGS: NORTH RIGHT-OF-WAY LINE OF WEST BEAR CREEK ROAD AS SHOWN ON PLAT RECORDED IN VOL. 88048, PG. 2393, M.R.D.C.T.

IRF DENOTES IRON ROD FOUND
IRS DENOTES IRON ROD SET
W/ORANGE PLASTIC CAP STAMPED
"R. W. COOMBS RPLS 5294"
C.M. DENOTES CONTROLLING MONUMENT

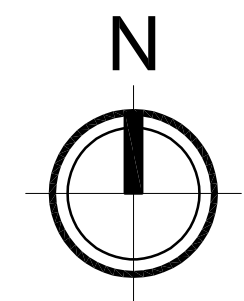
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Symbol	Qty	Label	Arrangement	Height	Total Lamp Lumens	LLF	Description	Lum. Watts
○	05	A	SINGLE	12'	N.A.	0.912	LRB-B64-4-LED-E1-WST	88
□	06	B	SINGLE	12'	N.A.	0.912	CLCSLED-40-SM-UNV	36.81

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	PtSpcLr	PtSpcTb
Site @Finished Grade	illuminance	Fc	4.12	34.2	0.0	N.A.	N.A.	10	10

405 WEST BEAR CREEK ROAD
ASPHALT PAVEMENT
CALLED 100' R.O.W.

01 SITE LIGHTING PLAN
SCALE: 1"=20'-0"



20' 0 20' 40'
GRAPHIC SCALE: 1" = 20'-0"

REVISION	DATE	DESCRIPTION

THE HOLY HOUSE OF PRAYER
405 WEST BEAR CREEK ROAD
GLENN HEIGHTS, TEXAS 75154

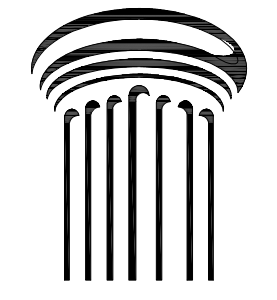
DEVELOPER

GENERAL CONTRACTOR

SHEET NAME
SITE LIGHTING PLAN

DRAWN BY O GALAN
CHECKED BY
SCALE 1"=20'-0"
PROJECT NO.
ISSUE DATE 03 JUNE 25
REVISED DATE
SHEET

A1.1



REVISION	DATE	DESCRIPTION

THE HOLY HOUSE OF PRAYER
405 WEST BEAR CREEK ROAD
GLENN HEIGHTS, TEXAS 75154

DEVELOPER

GENERAL CONTRACTOR

SHEET NAME
LANDSCAPE PLAN

DRAWN BY: O GALAN
CHECKED BY:
SCALE: 1"=20'-0"
PROJECT NO.
ISSUE DATE: 03 JUN 25
REVISED DATE
SHEET

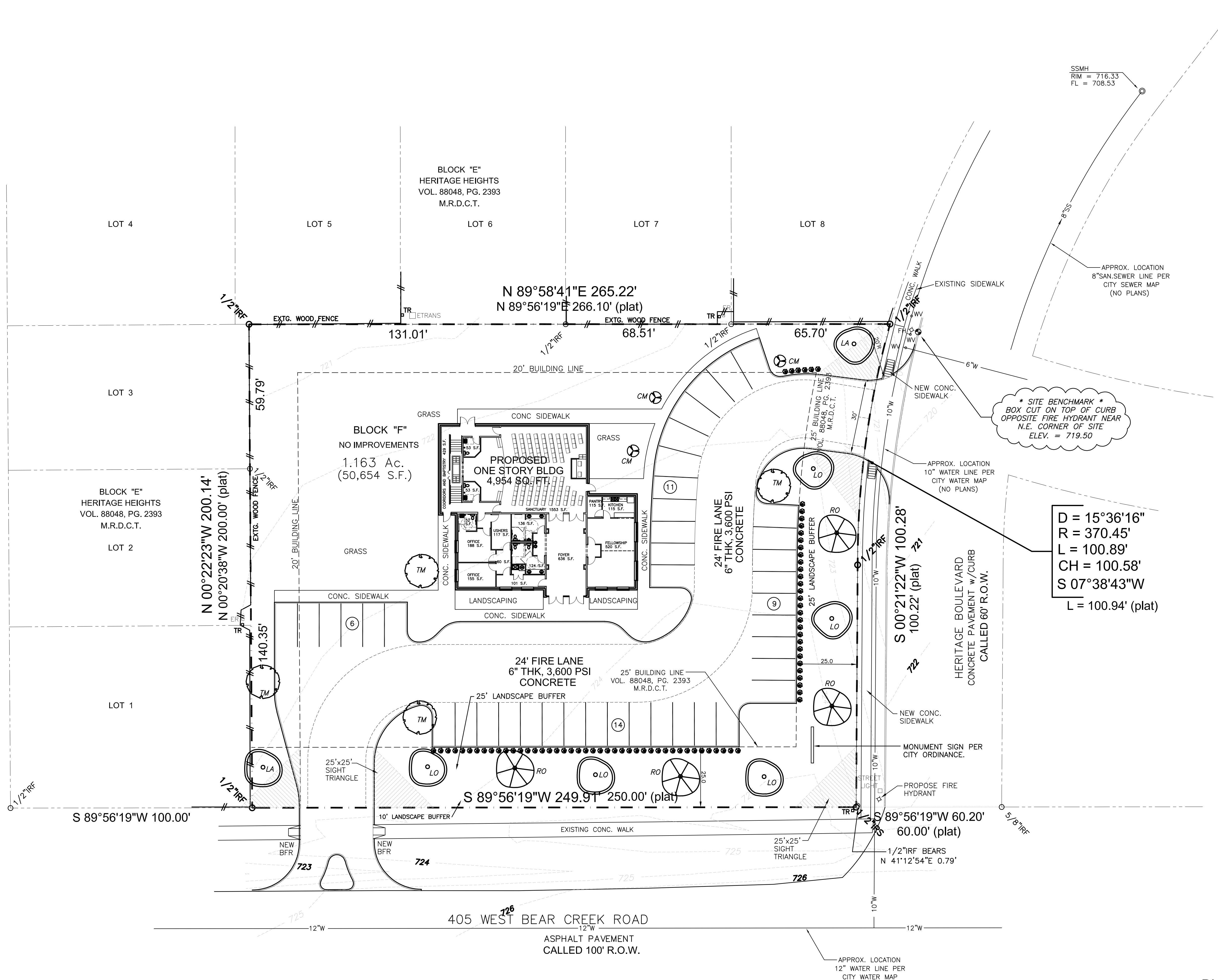
L1.0

- LANDSCAPE NOTES:**
1. PLANT MATERIAL SHALL BE MEASURED AND SIZED ACCORDING TO THE LATEST EDITION OF THE TEXAS NURSERY AND LANDSCAPE ASSOCIATION (TNLA) GRADES AND STANDARDS.
 2. ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3" (INCHES) OF HARDWOOD OR OTHER NATIVE MULCH.
 3. TREES SHALL BE PLANTED AT LEAST 4 FEET FROM UTILITY LINE, CURB, WALK, FIRE CONNECTION, AND OUTSIDE ALL UTILITY EASEMENTS.
 4. TREES OVERHANGING WALKS AND PARKING SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF 7 FT.
 5. A VISIBILITY TRIANGLE MUST BE PROVIDED AT ALL INTERSECTIONS. SHRUBS ARE NOT TO EXCEED 24 INCHES IN HEIGHT. TREES SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF 9 FEET.
 6. THE OWNER, TENANT, AND/OR THEIR AGENTS, IF ANY, SHALL BE JOINTLY RESPONSIBLE FOR THE MAINTENANCE, ESTABLISHMENT, AND PERMANENCE OF PLANT MATERIAL. ALL LANDSCAPING SHALL ALWAYS BE MAINTAINED IN A NEAT AND ORDERLY MANNER. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, MOWING, EDGING, PRUNING, FERTILIZING, WATERING, AND OTHER ACTIVITIES NECESSARY FOR THE MAINTENANCE OF LANDSCAPED AREAS.
 7. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR. PLANT MATERIAL THAT IS DAMAGED, DESTROYED, OR REMOVED SHALL BE REPLACED WITH PLANT MATERIAL OF SIMILAR SIZE AND VARIETY WITHIN 30 DAYS UNLESS OTHERWISE APPROVED IN WRITING BY THE CITY OF GLENN HEIGHTS.
 8. BEFORE CONSTRUCTION, LANDSCAPING CONTRACTOR AND GENERAL CONTRACTOR SHALL VERIFY AND LOCATE ALL EXISTING UTILITIES IN AREAS OF EXCAVATION.
 9. PLEASE REFER TO ALL LANDSCAPE AND IRRIGATION SPECIFICATIONS.
 10. ALL LANDSCAPE BEDS AND TURF AREAS TO BE SEPARATED WITH EDGING.
 11. ALL LANDSCAPE BEDS TO BE 6" BELOW FINISHED FLOOR.
 12. ALL HYDRO-MULCH OR SOD AREAS TO BE BROUGHT TO +/- 1/4" BY SITE GRADING CONTRACTOR. LANDSCAPE CONTRACTOR TO BRING ALL AREAS TO FINAL GRADE AND REMOVE AL CLODS, ROCKS OR DEBRIS GREATER THAN 1" (INCH) IN DIAMETER.
 13. ALL LANDSCAPE TO BE 100% IRRIGATED. ALL IRRIGATION WITHIN DRIP LINES OF EXISTING TREES TO BE HAND DUG, AND LINE TO BE INSTALLED IN A RADIAL FASHION TOWARD THE TRUNK.
 14. PLEASE NOTE THAT THE PERMEABLE AREAS UNDER THE DRIP LINE OF A SPECIMEN AND PROTECTED TREES SHALL BE LEFT AT NATURAL GRADE. NO CUTTING OR FILLING ARE TO OCCUR IN THESE AREAS.

- CURRENT ZONING: "NS" NEIGHBORHOOD SERVICES**
LANDSCAPE AREA REQUIREMENT: 20 PERCENT OF TOTAL LOT
TREE REQUIREMENT: 1 SHADE TREE PER 10,000 S.F. OF LOT.
50 PERCENT OF REQ'D LANDSCAPE AREA IN FRONT YARD.
MINIMUM OF 1 SHADE TREE AND 10 SHRUBS PER 35' LINEAR FEET
- STREET TREES**
 - LO LIVE OAK (*Quercus virginiana*)
MINIMUM 3" (INCH) CALIPER AT PLANTING
1 LARGE CANOPY TREE EVERY 35' LINEAR FEET
 - RO RED OAK (*Quercus virginiana*)
MINIMUM 3" (INCH) CALIPER AT PLANTING
1 LARGE CANOPY TREE EVERY 35' LINEAR FEET
 - PARKING ROW TREES**
 - TM TEXAS MOUNTAIN LAUREL (*Sophora secundiflora*)
MINIMUM 3" (INCH) CALIPER AT PLANTING
1 SMALL CANOPY TREE @ END OF PARKING SPACES
 - SHRUB-SCREENING**
 - DH DWARF YAUPON HOLLY (*Llex vinitivua Nana*)
PROVIDE CONTINUOUS SOLID VISUAL SCREENING
5 GALLON MINIMUM
 - CM SHRUB-SCREENING
GRAPE MYRTLE (*Lagerstroemia indica*)
PROVIDE CONTINUOUS SOLID VISUAL SCREENING
5 GALLON MINIMUM
 - TUFF GRASSES**
 - Bermuda Grass (*Cynodon dactylon*)
- PLANT MATERIAL SELECTED IS 70 PERCENT NATIVE OR DROUGHT TOLERANT

D = 15°36'16"
R = 370.45'
L = 100.89'
CH = 100.58'
S 07°38'43"W
L = 100.94' (plat)

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CITY OF DESOTO EST. 2017 3R SET IN
CONCRETE ON THE SOUTH SIDE OF WEST
BEAR CREEK ROAD AND EAST SIDE OF
SOUTH HAMPTON ROAD NEAR THE WESTERLY
NORTHWEST CORNER OF FAMILY DOLLAR
PARKING LOT.
ELEV. = 680.34

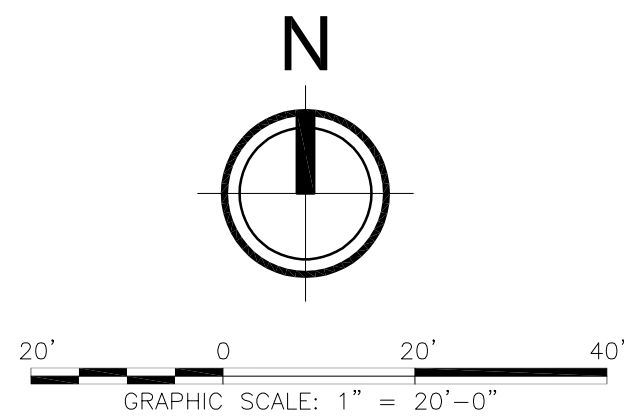


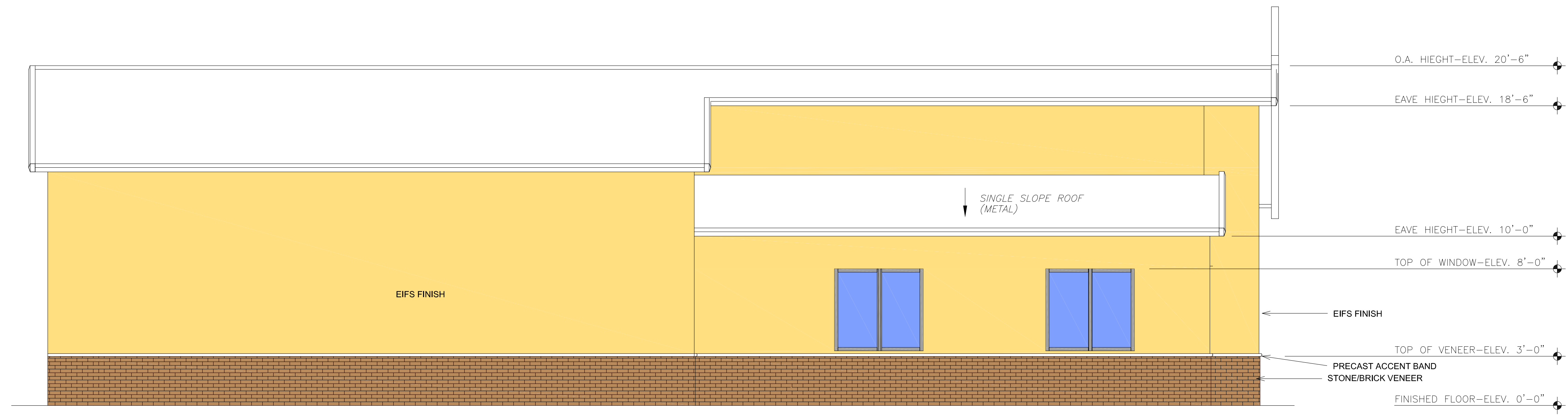
01 LANDSCAPE PLAN
SCALE: 1"=20'-0"

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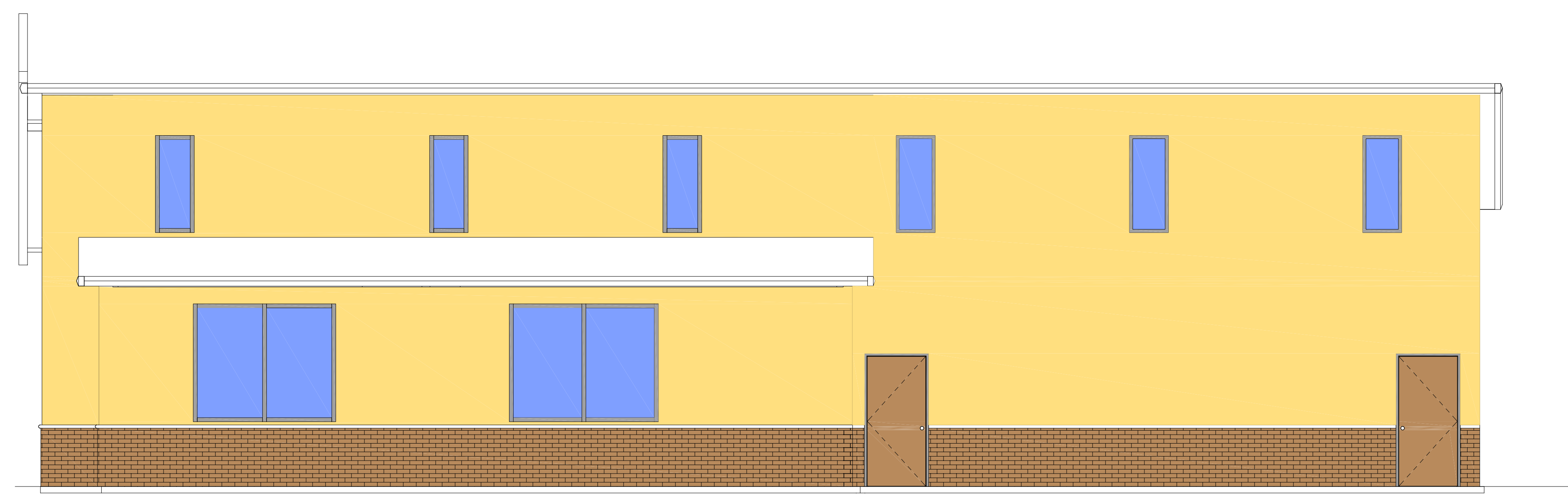
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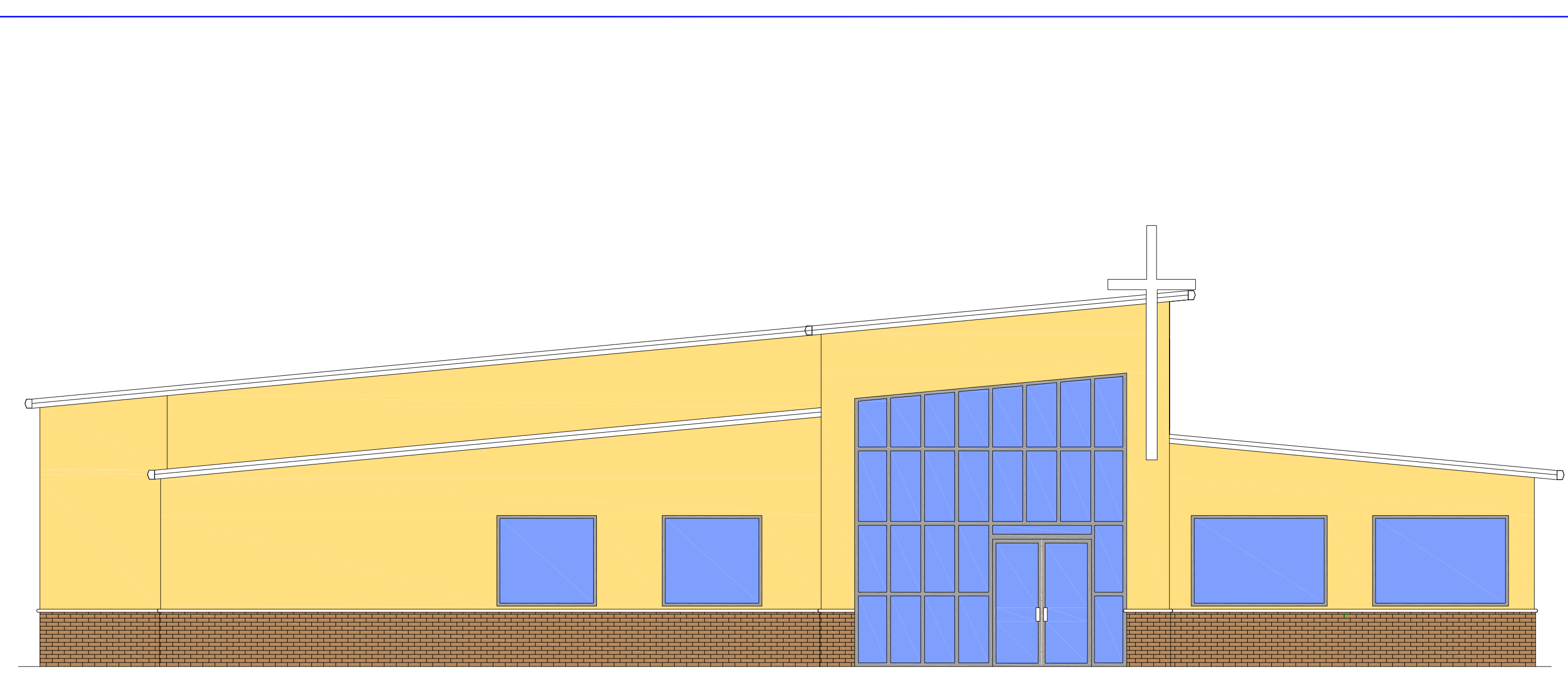




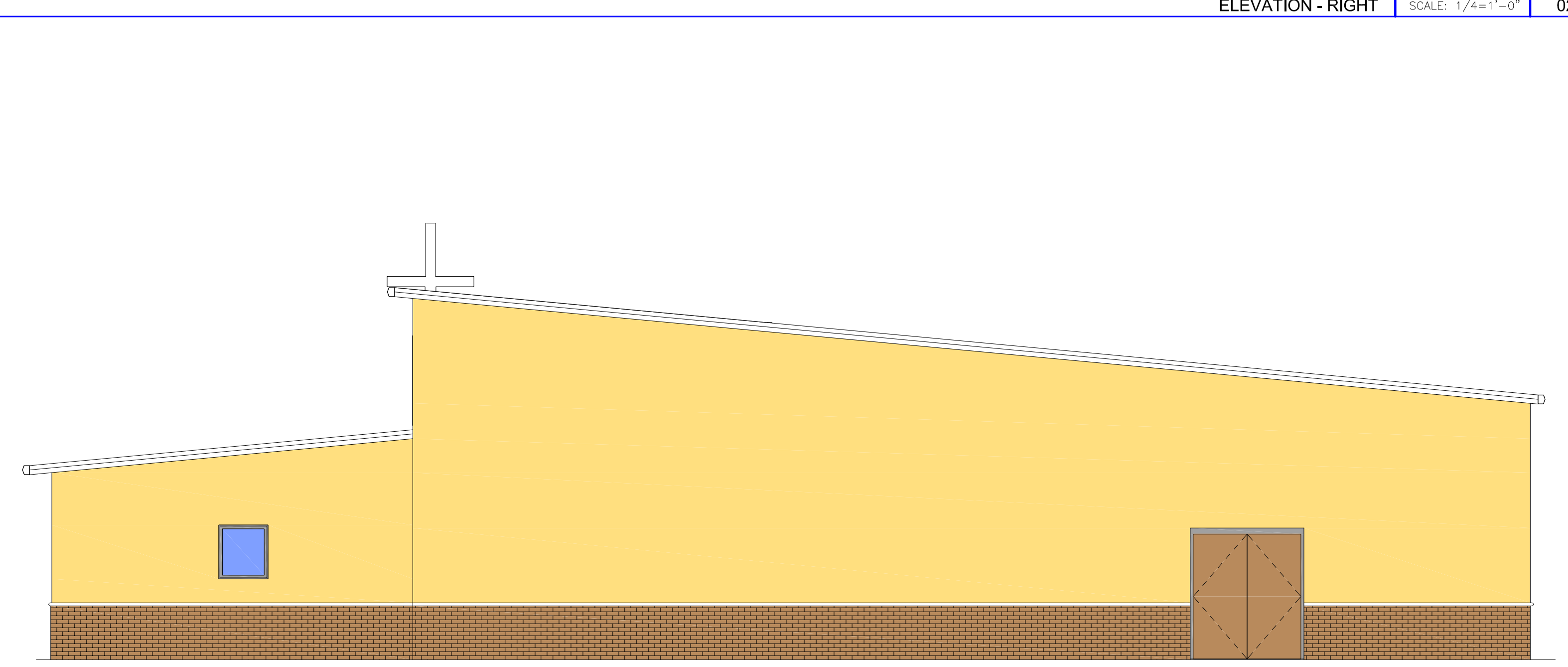
ELEVATION - LEFT SCALE: 1/4"=1'-0" 01



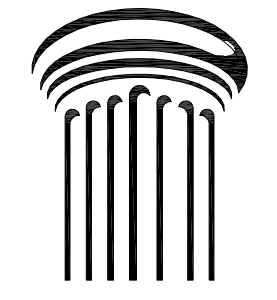
ELEVATION - RIGHT SCALE: 1/4"=1'-0" 02



ELEVATION - FRONT SCALE: 3/16"=1'-0" 04

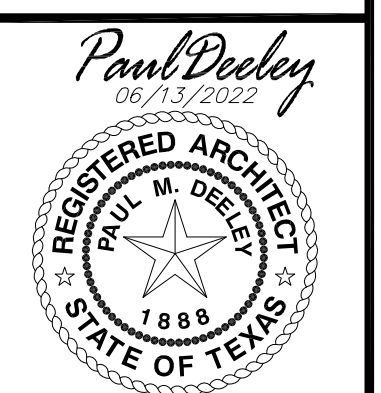


ELEVATION - REAR SCALE: 3/16"=1'-0" 03



REVISION	DATE	DESCRIPTION
LTR		

THE HOLY HOUSE OF PRAYER
405 WEST BEAR CREEK ROAD
GLENN HEIGHTS, TEXAS 75154



DEVELOPER

GENERAL CONTRACTOR

SHEET NAME
EXTERIOR ELEVATIONS

DRAWN BY O. GALAN
CHECKED BY
SCALE AS NOTED
PROJECT NO.
ISSUE DATE 13 JUNE 22
REVISED DATE
SHEET



CITY OF GLENN HEIGHTS CITY COUNCIL REPORT

Date: July 15, 2025

SUBJECT

The City Council will discuss a Variance request by Michael D. Polke to allow for the construction of an 8-foot tall residential wood fence at property located at 1100 Yorkshire Drive.

DISCUSSION / BACKGROUND

EXISTING POLICY

Section 15.02.094-(b) of the City of Glenn Heights Code of Ordinances, Residential homes are prohibited from having a fence taller than 6-feet. The City Council recently amended the fencing and screening regulation via Ordinance O-05-25 and allows the residential homeowners to request Variance for the fence height directly from the City Council.

VARIANCE REQUESTS

1. In order to make a finding of undue hardship and to grant a Variance, the City Council must determine that: The requested variance does not violate the intent of the Ordinance or its amendments.
2. Special conditions of restricted area, shape, topography, or physical features exist that are peculiar to the subject parcel of land and are not applicable to other parcels of land in the same zoning district.
3. The hardship is in no way the result of the applicant's own actions (not self-imposed) and does not generally affect all or most properties in the same zoning district.

4. The interpretation of the provisions in this Ordinance and all amending ordinances would deprive the applicant of rights commonly enjoyed by other properties, in the same zoning district, that comply with the same provisions.

The applicant received approval from HOA to build the fence, and he proceeded with construction without permit from the City. The Code Enforcement staff stopped the work and directed the homeowner to contact Development Services staff.

PRIOR COUNCIL OR BOARD ACTION

Not applicable.

PUBLIC CONTACT

Not applicable.

FINANCIAL IMPACT

Not applicable.

RECOMMENDATION / ALTERNATIVES

Staff does not support the Variance request.

ATTACHMENTS

1. Presentation - Variance Request
2. Picture

PREPARED BY

Parviz Pourazizian, Director of Planning and Development Services

REVIEWED BY

Brandi Brown, City Secretary

1100 YORKSHIRE DR FENCE HEIGHTS VARIANCE



PARVIZ R POURAZIZIAN, DIRECTOR OF PLANNING &
DEVELOPMENT SERVICES

JULY 15, 2025

VARIANCE



Variance 25-002-CC: Discussion and take action to approve a variance request by Michael D. Polk for the property located at 1100 Yorkshire Drive, Glenn Heights, Dallas County, Texas. The parcel is specifically described as Lot 15, Block E of the Kingston Meadows Phase 3B and is zoned Single Family 3 (SF-3). The applicant is seeking approval to build 8-foot tall residential wood fence.

AERIAL VIEW





Note

In order to make a finding of undue hardship and to grant a variance, the Board must determine that:

- The requested variance **does not violate the intent of the Ordinance** or its amendments.
- **Special conditions of restricted area, shape, topography, or physical features exist** that are peculiar to the subject parcel of land and are not applicable to other parcels of land in the same zoning district.
- **The hardship is in no way the result of the applicant's own actions** (not self-imposed) and does not generally affect all or most properties in the same zoning district.
- **The interpretation of the provisions in this Ordinance and all amending ordinances would deprive the applicant of rights commonly enjoyed by other properties**, in the same zoning district, that comply with the same provisions.



Note

- Staff do not support the Variance request.

QUESTIONS



COMMENTS













